



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
AUGUST 25, 2021
110 EAST MAIN STREET
LOS GATOS, CA**

*Kathryn Janoff, Chair
Kendra Burch, Vice Chair
Jeffrey Barnett, Commissioner
Melanie Hanssen, Commissioner
Jeffrey Suzuki, Commissioner
Reza Tavana, Commissioner
Emily Thomas, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
<https://www.kcat.org/government-meetings>

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]

IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID-19 pandemic. The live stream of the meeting may be viewed on television and/or online at: <https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chamber.**

PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at: <https://losgatosca.gov.zoom.us/j/85494108942?pwd=LzZ1VEh3T0FMWDdGWXdMS1ITZjA2UT09>.
Passcode: 137979.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to PlanningComment@losgatosca.gov with the subject line “Public Comment Item #” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

REMOTE LOCATION PARTICIPANTS

The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR KATHRYN JANOFF, VICE CHAIR BURCH, COMMISSIONER BARNETT, COMMISSIONER HANSSEN, COMMISSIONER SUZUKI, COMMISSIONER TAVANA, AND COMMISSIONER THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
AUGUST 25, 2021
7:00 PM**

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS *(Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)*

1. Draft Minutes of the July 28, 2021 Planning Commission Meeting

2. Consider an Appeal of a Development Review Committee Decision Approving a Request for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards, and Site Work Requiring a Grading Permit on Property Zoned R-1:8. **Located at 15897 Camino Del Cerro.** APN 523-24-044. Architecture and Site Application S-20-006. Property Owners: Francesco Iacopino and Leire Carbone Aguero. Applicant: Robin McCarthy. Appellant: Jack Hardin. Project Planner: Ryan Safty.

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

3. Consider Approval for Construction of a New Single-family Residence and Site Improvements Requiring a Grading Permit on Vacant Property Zoned HR-5. **Located on Wood Road.** APN 510-47-045. Architecture and Site Application S-21-003. Property Owners: Omari and Kavita Bouknight. Applicant: Gary Kohlsaaf, Architect. Project Planner: Sean Mullin.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/25/2021

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
JULY 28, 2021**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, July 28, 2021, at 7:00 p.m.

This meeting was conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID19 pandemic and was conducted via Zoom. All planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Chair Kathryn Janoff, Commissioner Jeffrey Barnett, Commissioner Melanie Hanssen, Commissioner Jeffrey Suzuki, Commissioner Reza Tavana, and Commissioner Emily Thomas
Absent: Vice Chair Kendra Burch

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – July 14, 2021

MOTION: Motion by Commissioner Hanssen to approve adoption of the Consent Calendar. **Seconded** by Commissioner Barnett.

VOTE: Motion passed unanimously.

PUBLIC HEARINGS

2. Wood Road

Architecture and Site Application S-21-003

APN 510-47-045

Applicant: Gary Kohlsaas, Architect

Property Owners: Omari and Kavita Bouknight

Project Planner: Sean Mullin

Consider approval for construction of a new single-family residence and site improvements requiring a Grading Permit on vacant property zoned HR-5.

Sean Mullin, Associate Planner, presented the staff report.

Opened Public Comment.

Omari Bouknight

- Low-grade square footage is incorporated in their home design to reflect the rural and natural character of Los Gatos. They have remained in compliance with the Town's regulations. Their site is relatively private and isolated, allowing for little impact to surrounding neighbors and the community. They have tried to respect the natural topography as set out in the Hillside Standards and Guidelines with the design running along the contours of the hillside to reduce bulk, mass, and visibility and through the use of subdued colors. They are within the limited LRDA. No trees would be removed. They have conducted neighborhood outreach.

Justin Dray, Neighbor

- He lives across the street from the subject site. He appreciated the applicant's neighborhood outreach and had no objections to the project.

Gary Kohlsaas, Architect

- They arrived at their current design after several iterations. They acknowledge they are exceeding the 28-foot limit imposed on houses visible bottom to top but that is the only way this house would work and they are under the ultimate 35 feet. They have stepped the house up the hill dramatically with over 20 feet from the garage to the master bedroom floor and another 30 feet to the upper floor. They have put quite a bit of square footage below grade and are under the allowed FAR. With the landscaping tucked in the back the minor exceptions are not visible and provide a private space for the home's occupants.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Hanssen to continue the public hearing for Wood Road to a date certain of August 25, 2021. Seconded by Commissioner Suzuki.**

Commissioner Barnett requested the motion be amended to provide for Town Attorney investigation of the right-of-way issue.

The Maker of the Motion accepted the amendment to the motion provided that would not be the issue that would prevent the application from being approved should the applicant revise the height appropriately.

The Seconder of the Motion accepted the amendment to the motion.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Joel Paulson, Director of Community Development

- The draft 2040 General Plan is circulating. A Planning Commission/Town Council workshop on the General Plan is planned for September. The General Plan EIR will begin circulation on July 30th with a 45-day public comment period and a Planning Commission hearing to accept public comments. After all public comments have been received responses will be published in a Final Environmental Impact Report. The EIR and General Plan will be brought back to the Planning Commission for consideration and recommendation to the Town Council in the late fall.
- A Subcommittee of the Planning Commission has been created to help staff with Objective Standards.
- The Housing Element Update process has begun. A Housing Element Advisory Board will be created and comprised of the General Plan Committee members and two at-large community members who served on the GPAC through the General Plan Update effort.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

None.

ADJOURNMENT

The meeting adjourned at 8:33 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the July 28, 2021 meeting as approved by the Planning Commission.

/s/ Vicki Blandin



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/25/2021

ITEM NO: 2

DATE: August 20, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider an Appeal of a Development Review Committee Decision Approving a Request for Demolition of an Existing Single-Family Residence, Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards, and Site Work Requiring a Grading Permit on Property Zoned R-1:8. Located at 15897 Camino Del Cerro. APN 523-24-044. Architecture and Site Application S-20-006. Property Owners: Francesco Iacopino and Leire Carbone Aguero. Applicant: Robin McCarthy. Appellant: Jack Hardin. Project Planner: Ryan Safty.

REMARKS:

The appellant has withdrawn their appeal (Exhibit 1). Therefore, this item will not be considered by the Planning Commission.

EXHIBIT:

1. Email from Appellant

PREPARED BY: RYAN SAFTY
Associate Planner

Reviewed by: Planning Manager and Community Development Director

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From: Jack Hardin
Sent: Friday, August 20, 2021 9:51 AM
To: Ryan Safty
Cc: Fran Iacopino
Subject: Re: 15897 Camino Del Cerro Appeal

Ryan - In the interest of neighborhood harmony, we are withdrawing our appeal effective today, August 20, 2021.

Sincerely

Jack & Barbara Hardin
15869 Camino Del Cerro

EXHIBIT 1

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/25/2021

ITEM NO: 3

DATE: August 20, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider Approval for Construction of a New Single-family Residence and Site Improvements Requiring a Grading Permit on Vacant Property Zoned HR-5 Located on Wood Road. APN 510-47-045. Architecture and Site Application S-21-003. Property Owners: Omari and Kavita Bouknight. Applicant: Gary Kohlsaar, Architect. Project Planner: Sean Mullin.

BACKGROUND:

On July 28, 2021, the Planning Commission considered the application and continued the matter to August 25, 2021. The Planning Commission directed the applicant to consider the comments of the Planning Commission, including:

- Evaluate options to reduce the height of the residence and therefore the visibility from the viewing area located at Los Gatos-Saratoga Road (Highway 9) and Highway 17; and
- Clarify whether a right-of-way exists on the subject property.

DISCUSSION:

The applicant submitted a written response to the direction provided by the Planning Commission and revised development plans (Exhibits 13 and 15). The changes to the residence and the applicant's response are discussed below.

A. Building Height

In response to the Planning Commission's direction, the applicant has reduced the height of the upper floor by reducing the ceiling height by approximately nine inches and changing the roof form from a hip roof to a flat roof (Exhibits 13 and 15). These changes reduce the height of the upper floor by three feet at the bedrooms and two feet at the common area. As a result, the maximum low-to-high height is reduced by two feet, to 32 feet, 11 inches.

PREPARED BY: SEAN MULLIN, AICP
Associate Planner

Reviewed by: Planning Manager and Community Development Director

DISCUSSION (continued):

Building Height			
	Previous Proposal	Current Proposal	Maximum Allowed per HDS&G for Visible Homes
Height	21.16 feet	21.16 feet	18 feet
Low-to-High Height	34.92 feet	32.92 feet	28 feet

Heights of visible homes are limited by the Hillside Development Standards and Guidelines (HDS&G) to a maximum of 18 feet at any point and a low-to-high dimension of 28 feet. The revised residence continues to require exceptions to the height standards of the HDS&G for a portion of the loggia covering a patio at the front of the main level with a height of 21.16 feet, exceeding the 18-foot height standard. Additionally, the revised portions of the upper level would exceed the 28-foot low-to-high standard, having a height of 32.92 feet.

B. Visibility

Pursuant to the HDS&G, a visible home is one where 24.5 percent or more of an elevation can be seen from any of the Town’s established viewing areas. The previous proposal included a visibility analysis showing that the residence would be 34.9 percent visible from the viewing area located at Los Gatos-Saratoga Road (Highway 9) and Highway 17 (Exhibit 4). In response to the Planning Commission’s direction to reduce visibility, the applicant has lowered the ceiling heights and changed the roof on the upper floor from hipped to flat, as discussed above. These changes reduce the overall height of the building by two feet and would reduce the visibility of the proposed residence to 32 percent (Exhibit 15, Sheets VS1 and VS2).

During the July 28, 2021 Planning Commission hearing, the applicant was asked to explore opportunities to plant additional trees to reduce the visibility of the residence. The revised development plans introduce eight, 60-inch box redwood trees adjacent to the driveway on the neighboring property, in a landscape easement, east of the residence (Exhibit 15). The applicant outlines the selection process for the screening trees, which considered height, foliage density, growth rate, native species, and cost (Exhibit 13). Redwood trees were ultimately selected, and the applicant indicates that they have consulted with a nursery to purchase trees that are currently 18 feet, six inches tall. Given the average growth rate for redwoods, the nursery anticipates that the trees will grow approximately two feet per year and would be over 20 feet tall at the time of planting. The applicant estimates that the redwoods would be at least 24 feet, six inches tall within two years of planting.

DISCUSSION (continued):

The applicant submitted a revised visibility analysis calculating the percent of the revised residence that would be visible from the Highway 9/17 viewing area (Exhibit 15, Sheets VS1 and VS2). The analysis includes three visibility calculations based on the revised residence:

- The revised residence with no added screening trees;
- The revised residence after initial planting of the proposed redwood trees; and
- The revised residence after two years of anticipated growth of the proposed redwood trees.

The visibility of the revised residence is summarized in the table below. Typically, visibility analyses do not consider proposed trees or landscaping. The applicant has provided these calculations, including the proposed redwood trees, in response to the Planning Commission’s request to explore the use of screening trees in order to reduce the visibility of the residence.

Visibility Analysis			
Previous Proposal	Revised Building Design, No Added Screening	Revised Building Design and New Screening Trees at Planting	Revised Building Design and Two Years of Growth of New Screening Trees
34.9%	32%	27%	24.2%

C. Right-of-Way

During the July 28, 2021 hearing, the Planning Commission discussed a claim made on behalf of the neighboring property owner to the west that a public right-of-way exists along the north property line of the subject property. The applicant contends that there is no evidence that this right-of-way or an easement exists in this location (Exhibit 13). The Planning Commission requested that the Town Attorney consult with the applicant and the neighboring property owner’s attorney to determine whether a public right-of-way exists on the subject property. It is the conclusion of the Town Attorney that all parties are in agreement that there is no evidence of a public right-of-way (Exhibit 14). The neighboring property owner’s attorney does contend that, while there is no evidence of a public right-of-way on the subject property, there is a private easement benefitting their client. The applicant does not agree with this claim. A claim of private easement is a civil matter in which the Town is not involved.

STORY POLES:

Due to scheduling constraints, the installed story poles have been maintained and do not reflect the height reductions to the upper floor.

PUBLIC COMMENTS:

Exhibit 18 includes additional public comments received between 11:01 a.m., Wednesday, July 28, 2021 and 11:00 a.m., Friday, August 20, 2021.

CONCLUSION:

A. Summary

The applicant has submitted revised development plans responding to the Planning Commission's direction (Exhibit 15).

B. Recommendation

Should the Planning Commission determine that the revised project meets the direction provided at the July 28, 2021 meeting, the Commission can take the actions below to approve the Architecture and Site application:

1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
2. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
3. Make the finding that due to the constraints of the site, exceptions to building height, grading depths, driveway slope, retaining wall heights, and water tanks located in a required setback are appropriate, and the project is otherwise in compliance with the applicable sections of the Hillside Development Standards and Guidelines (Exhibit 2);
4. Make the finding that the project complies with the Hillside Specific Plan (Exhibit 2);
5. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
6. Approve Architecture and Site Application S-21-003 with the conditions contained in Exhibit 3 and the development plans in Exhibit 15.

CONCLUSION (continued):

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction; or
2. Approve the application with additional and/or modified conditions; or
3. Deny the application.

EXHIBITS:

Previously received with the July 28, 2021 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Visibility Analysis
5. Color and materials board
6. Project Description and Letter of Justification, dated July 21, 2021
7. Consulting Architect's Report, dated February 5, 2021
8. Consulting Arborist's Report, dated March 22, 2021
9. Applicant's neighbor outreach efforts
10. Public comments received by 11:00 a.m., Friday, July 23, 2021
11. Development Plans

Previously received with the July 28, 2021 Addendum Report:

12. Public comments received between 11:01 a.m., Friday, July 23, 2021 and 11:00 a.m., Tuesday, July 27, 2021

Received with this Staff Report:

13. Applicant Response Letter, dated August 19, 2021
14. Public comments received between 11:01 a.m., Wednesday, July 28, 2021 and 11:00 a.m., Friday, August 20, 2021
15. Revised Development Plans, received August 19, 2021

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ARCHITECTURE

Planning Department
Community Development Department, Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

August 19, 2021

**Re: The Bouknight Residence, 145* Wood Road
Addendum to Planning Commission Review**

Dear Mr Mullin:

This letter outlines our responses to the direction given by the Planning Commissioners on July 28 2021 when they considered our A&S application for the Bouknight residence, and accompanies revised plans and exhibits. We appreciate the opportunity to work with the Planning Commission and trust that the outlined proposal directly addresses the areas of concern highlighted during the meeting. In summary, the Planning Commission raised concerns regarding exceptions requested on the home's proposed low-to-high height limit. The original home design was noted to have a visibility ratio of 34.9% from one of the designated viewing areas, which is greater than the 24.5% standard. As such, a more restrictive low-to-high height limit was to be applied and thus the exception request and the noted concerns. Finally, there was some concern regarding the size of the home in relation to the surrounding properties.

As proposed during the July 28 review meeting, we have explored a combination of design changes related to the height of the home as well as adding natural screening to decrease the visibility ratio to or below the 24.5% standard, which would obviate the need to issue a low-to-high height limit exception. Beyond the aforementioned proposal to reduce height and visibility, we have completed our due diligence on questions regarding the so-called 'Old Wood Road' ROW and related easement rights. Our position on the ROW remains unchanged; after carefully reviewing all available documents there is no evidence that a Right of Way exists in that location. While we also don't believe there is a recorded private easement, we are willing to work with the neighbor offline and can state with confidence that any development would respect such potential easement.

FLOOR AREA

The above grade area for the proposed home is 3,295 sf, where the Town's limit is placed at 3,900 sf. There are two homes on Wood Road listed in the staff report that are much larger than this one (4,609 sf and 4,594 sf). In addition to the listed properties, there are two homes omitted from the list that we contend should be included in the discussion. Both of these properties have been included on our Overall Site Plan (Sheet A-1) from the beginning. The first one, a whopper, is 150 Wood Road, which is just beyond this property, is clearly visible from the viewing area and is 8,940 sf. The second property, 100 Clifton Ave, is *directly* adjacent to our property, is also highly visible and totals out at 4,557 sf.

In the near future, Mr. Ebrahimi's property (adjacent- above and to the west of ours) surely will seek a highest and best use sized development of at least one but possibly two homes. The Draa's property at 138 Wood road is 2,808 sf but could be due for a major addition as the property can easily support up to 6,000 sf. In this context, the proposed home of 3,295 square feet is not overly large in relation to the neighborhood.

VISIBILITY

Topography

The site has a very narrow development area that is defined by the front setback line on the south side and the least restrictive development area (LRDA) boundary line to the north. This buildable area varies in width between 60 feet at the bottom to approximately 75 feet towards the top. The LRDA does not allow for the house to be spread along the contours so a tiered approach makes the most sense. The house is not only tiered up the slope by bunkering in a good majority of the floor area, it also is divided into 3 sections that progressively step back and follow the angles of the contour lines. This approach greatly breaks up any large expansive walls and mass and keeps the height of the home below the 18 ft vertical plane (Standard for homes which are deemed "visible").

While roughly half of the buildable area is well screened, the southern "third" of this area is exposed to the visibility platform at the Hwy 9/17 interchange. Since we have such a limited area in which to build, this portion of land needs to be utilized and therefore attributes to the majority of the visible portion of the house. The original house had a 34.9% visibility ratio and an overall height of 34'-9".

TWO STEP APPROACH

Architecture

First, we explored and evaluated ways to lower the height of the house. As noted in the hearing, there is not much if any leeway to reduce the floor to floor heights, so we focused our attention on the uppermost floor, which is the primary contributor to the visibility. The original roof was hipped and had ceiling heights varying between 9'-9" and 10'-9". The modified design lowers the ceiling heights to 9 ft and 10 feet respectively, as well as flattening out the roof. The commutative reduction in height is a full 3 feet on the bedroom section (the southern and most visible section) and 2 feet on the Family Room corner (north side). By doing this, the overall height (Low to High) has been reduced from 34'-9" to 32'-9". This height reduction also results in a 2.9% reduction to the visibility ratio, taking it from 34.9% to 32.0%.

While we were able to make significant strides in reducing both height and visibility, we feel the architecture retains its character and style. The flat roof is not visible from most view angles and retains the overhang and corbel detail that matches the rest of the house.

Screening Trees

Several mature oak trees cover the northern portion of the property, with several more oaks located in the lower apron area that effectively screen the majority of the proposed residence. At the suggestion of the planning commission, we have completed extensive studies using computer simulation to evaluate how effective adding new trees would be in further reducing the visibility ratio. We have been pleased to find that trees can indeed be positioned to provide excellent screening results.

PROCESS

As part of the process of identifying appropriate screening trees, we felt it critical to identify indigenous trees that had sufficient height and screening potential. We determined that the trees need to be a minimum of 18 feet tall to achieve necessary screening, with a growth potential to reach the desired height to be anywhere between 22-25 feet tall within a reasonable amount of time. The list is short and includes Oaks, Redwoods and Cedars. We did not consider California Bay trees as they have been found to be the prime carrier of SODS (Sudden Oak Death Syndrome).



Deodar Cedars have more openings within the branch structure and are not solid enough for our purposes. Oaks, especially Coast Live Oaks, are evergreen and have relatively solid canopies. However, there are two significant issues with Coast Live Oaks: One issue relates to size and the second relates to the growth rate. To get our desired starting size between 18-20 feet, the box size is substantial (108" size) and the projected cost of upwards of \$25,000 per tree (planted) becomes prohibitive; several trees are needed. The bigger problem is trees of this size take several years to get established and begin to grow again. In contrast, smaller oaks (24"- 36" box sizes) "take" right away and grow much faster, but they start around 8-10 feet in height and would take a good 10-15 years to reach the necessary heights.

We are ultimately proposing indigenous Redwoods, which not only are available in 18'-6" heights (see attached photo from Devil Mountain Nursery) but also have a projected 2 feet annual growth rate. This, along with their dense structure make Redwoods our tree of choice. The proposal is to purchase 60" box size Redwoods (18'-6" ft tall) this fall, then contract with the grower to nurture them so they continue to grow at the nursery until ready to be planted. We have already consulted with the nursery and are prepared to move forward. Using this approach, the new trees would easily be 20 feet tall if not more at time of planting, which could be done once the majority of the work is completed, or approximately one year after breaking ground.

Working with the topo and view corridor, we strategically positioned 3 groups of Redwoods (8 total) at different elevations in the apron area to create natural layered screening. Each tree is numbered on both the site plan and the visibility renderings to allow us to pinpoint these trees. Computer simulation then allows us to accurately analyze the screening potential.

The revised Visibility Screening Study depicts the trees and the proposed home (with modified upper roofs) at three stages: Time of planting, after one and two years time. The corresponding visibility calculations show the progression; after 2 years from the time of planting, these trees are projected to grow to approximately 24'-6" in height- enough to effectively reduce the visibility ratio to less than 24.5%.

We have also completed a review of our easement rights and it is clear that the Bouknights have rights to plant and maintain trees in this easement area.

One thing to point out is once the visibility ratio of the home is less than 24.5% (when a home is officially deemed as "Visible"), neither the 18 ft height plane limit nor the need for an exception to the 28 ft low-to-high height limit would technically be necessary.

CONCLUSION

We appreciate your time to review our application and look forward to receiving your support and approval. By following the Planning Commissioners' suggestion to add screening trees, we have determined that we will be able to reduce the visibility ratio to less than 24.5% in 2 years time or less (from time of planting). Along with making structural changes to reduce the overall height, we hope to have addressed all concerns highlighted during the July 28 meeting.

Sincerely,



Gary Kohlsaad, Architect C19245

From: Norm Matteoni
Sent: Wednesday, July 28, 2021 1:23 PM
To: Sean Mullin <SMullin@losgatosca.gov>; Joel Paulson <jpaulson@losgatosca.gov>
Cc: Jeremy Cunningham ; Attorney <Attorney@losgatosca.gov>
Subject: Planning Commission Hearing July 28 Item 2 (Wood Rd.)

Sean Mullin

While my client does not object to the approval of the applicant's proposed single family residence and two car garage, it does seek to protect the right of way (extension of Wood Rd.) across the back of the property as shown in this 1965 Record of Survey (the applicant's parcel is at the upper left corner of what was then Parcel 2).

I understand that the Town Attorney is reviewing this issue.

Thus, it seems appropriate to continue the hearing to the next agenda to resolve the matter and/or determine any conditioning of the approval regarding the right of way.

Please advise the Commission of this request.

Norm



NORMAN E. MATTEONI
848 The Alameda
San Jose, California 95126
T: (408) 293-4300
F: (408) 293-4004

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From: Robert Schultz <RSchultz@losgatosca.gov>
Sent: Sunday, August 1, 2021 3:16 PM
To: Sean Mullin <SMullin@losgatosca.gov>; Norm Matteoni ; Joel Paulson <jpaulson@losgatosca.gov>
Cc: Jeremy Cunningham ; Attorney <Attorney@losgatosca.gov>
Subject: RE: Planning Commission Hearing July 28 Item 2 (Wood Rd.)

Hello Norm,

The Planning Commission continued the matter until August 25. The 1965 survey you have provided does not establish a right of way (extension of Wood Rd.) across the back of the property. In order to establish a right of way you will need to provide documentation that the area was dedicated to the Town and then accepted by the Town. This documentation will be needed to be provided in order to for the Planning Commission to take your request into consideration.



Robert Schultz • Town Attorney

Town Attorney's Office • 110 E. Main Street, Los Gatos CA 95030

Ph: 408.354.6818 • rschultz@losgatosca.gov

www.losgatosca.gov • <https://www.facebook.com/losgatosca>

In accordance with the Santa Clara County Public Health Office Order, Town Offices are closed until further notice. Essential Town operations are functioning and staff continues to perform necessary work.

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From: Norm Matteoni
Sent: Thursday, August 12, 2021 1:10 PM
To: Robert Schultz <RSchultz@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Joel Paulson <jpaulson@losgatosca.gov>
Cc: Attorney <Attorney@losgatosca.gov>
Subject: RE: Planning Commission Hearing July 28 Item 2 (Wood Rd.) - continued

Robert

This will confirm that we did not find evidence of the upper portion of Wood Road had been dedicated to the Town.

But I have attached a report from a title expert – Jim Weller, who has had prior experience in Los Gatos and is a well-known title researcher.

It is his conclusion that the private easement remains in place, crossing the upper reaches of the applicant's parcel. Notwithstanding the RADE lot line adjustment that had the result of transferring the fee from a separate parcel, labelled as Wood Road pursuant to a 1965 Record of Survey, into the RADE adjacent holdings, in creating the current lot configuration, the easement was not extinguished. It remains running through the new lots.

Thus, my client again requests that any development approval consider and protect the easement, keeping it free of improvements.

Norm Matteoni



NORMAN E. MATTEONI
848 The Alameda
San Jose, California 95126
T: (408) 293-4300
F: (408) 293-4004

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July 31, 2021

Frank Lewis
145 Camino Pacifico
Aptos, CA 95003

Norman E. Matteoni
Matteoni O'Laughlin & Hechtman
848 The Alameda
San Jose CA 95126

RE: Wood Road, Los Gatos - APN: 510-46-043

Dear Mr. Lewis and Mr. Matteoni:

You have engaged me to provide my professional consulting services with regard to the above-referenced matter. As you know, I am an expert land title examiner, analyst, and advisor practicing independently from my office in Capitola, California. My qualifications and expertise come from some fifty years' professional experience in land title practice, in connection with a wide variety of California real property transactions and litigation. I am not an attorney at law. My services do not include the practice of law, and my advice is not to be relied upon as legal advice.

You have asked me to review a collection of maps and documents, some provided by you, and some collected by me, including publicly available Record of Survey maps, a Preliminary Report dated July 25, 2018, Order No. 4312-5756414 ("the Prelim") for David Ebrahimi and Jean Ebrahimoun, Trustees ("Ebrahimi"), and relevant deeds and other documents of record, concerning land in the Town of Los Gatos, County of Santa Clara, title to which is vested in your clients Ebrahimi, and relevant as well to nearby and adjoining lands. Ebrahimi's land, about six acres in area, is designated as Assessor's Parcels ("APN") No. 510-46-006 and 510-46-007 (together and separately, the "Ebrahimi land," including appurtenances, in some contexts).

I have reviewed the contents of all the maps and documents carefully, and I have examined the relevant land title record information indexed in the "title plant" maintained by Chicago Title Company in San Jose, California. I have likewise obtained and reviewed copies of numerous other relevant recorded deeds I was able to identify. I have carefully examined all of the relevant recorded survey maps, and also all the relevant recorded deeds disclosed by notations on those maps. I have provided you with digital copies of everything I have reviewed.

I have not myself conducted a comprehensive title search in the Santa Clara County Public records. Nonetheless, in view of all the documentation I have reviewed, I believe I understand the contents and significance of the relevant land title records adequately, so as to advise with regard to the matters of concern to your clients.

Summary of Facts and Observations

The Ebrahimi land abuts upon a private roadway area approximately 30 feet wide, commonly known as Wood Road. The northerly boundary of the Ebrahimi land is described in deeds of record as the southerly boundary of Wood Road. I have been unable to determine how the title in fee as to the roadway area adjoining the boundary of the Ebrahimi land is vested.

The adjacent part of Wood Road, extending easterly from the northerly corner of the Ebrahimi land, was designated as a separately assessed parcel of land by the County Assessor, APN 510-47-043 (“APN 043”) until February 15, 2017. Afterward, APN 043 was “retired” and combined with the adjacent 4.321 acres of land now or formerly owned by RADE Properties, LLC (“RADE”), now designated as APN 510-47-044 and 510-47-045 (the “RADE land.”)

This change was apparently made pursuant to the deed by Paul S. Liccardo and Toni A. Liccardo to RADE, recorded October 13, 2015, Document No. 23105140, Official Records (the “RADE deed”), and the Certificate of Lot Line Adjustment concerning the RADE land, recorded October 26, 2016, Document No. 23477967, Official Records (the “RADE LLA”). The RADE deed and the RADE LLA both described and depicted APN 043 as a part of the RADE land.

The RADE land, apparently including APN 043, was formerly owned by the Estate of Irma L. Farwell, deceased (“Farwell”), who died on March 4, 1964. The corpus of her estate (the “Farwell Estate”) was distributed according to a Decree of Final Distribution recorded September 14, 1965 in Volume 7102, pages 582-601, Official Records.

The relevant portion of the land belonging to the Farwell Estate was delineated and depicted on a Record of Survey map filed on February 10, 1965 in Book 190 of Maps, page 52, Santa Clara County Records (the “Farwell Survey.”) According to the Farwell Survey, the 30-foot wide segment of Wood Road (APN 043) that was situated between Parcel 1 (6.494 acres) and Parcel 2 (4.321 acres) was a separate parcel of land, not part of either Parcel 1 or Parcel 2.

According to a Quitclaim Deed dated December 29, 1971, recorded March 6, 1972, in Volume 9731, pages 555-556, Official Records, the distributees of the Farwell Estate remised and relinquished their right, title, interest, or claim as to APN 43 unto Werner J. Jasper and Louis L. Jasper (“Jasper”), who were then the owners of Parcel 2 of the Farwell Survey. In this 1971 Quitclaim Deed, APN 043 was described as “. . . a portion of the strip of land designated as Wood Road [according to the Farwell Survey].” It appears that the title in fee as to APN 043 was regarded as having been vested in the Farwell Estate, and it was the intent of the parties that it be vested in the owner of Parcel 2. Jasper’s title to Parcel 2 and APN 043 was subsequently transferred to RADE.

The Farwell Estate’s title in fee as to Wood Road apparently was subject to a private, expressly granted easement described as “an open, free and unobstructed right of way from the County Road known as the Santa Cruz Road to the above described property along the road now used and sometimes called the Woods[sic] Road, said road being 20 to 30 feet wide” (the “Wood Road right of way”) according to a deed dated January 24, 1948 by Albert Edward Gately, et al (“Gately”), to James L. Countryman and Edna Countryman (“Countryman”), recorded in Volume 1563, pages 273-274, Official Records.

The 1948 Countryman grantees were the predecessors in title to Ebrahimi, and “Countryman” was the owner of the Ebrahimi land in 1965, according to the Farwell Survey. Previously, James L. Countryman was the owner of the Ebrahimi land according to the Record of Survey filed September 21, 1951 in Book 35 of Maps, page 1, Santa Clara County Records. Alice Gately was the owner of the Ebrahimi land according to the Map of the Oak Knoll Tract filed May 16, 1914 in Book “O” of Maps, pages 50-51, Santa Clara County Records.

I have not determined by what conveyance of record Gately or their predecessor(s) may have acquired title to the Wood Road right of way, though I believe it is a reasonable conjecture that it was granted by a deed executed decades earlier by Farwell, or her apparent predecessor, J. W. Lyndon. The style of the language describing the Wood Road right of way indicates to me that it was very likely granted early in the 20th century, or perhaps some years before then.

Where in fact, precisely, the actual traveled way of Wood Road was situated at any time between 1914 and 1965 is indeterminate. The roadway through the RADE land, for travel to and from the Ebrahimi land, may have been relocated, according to the Easement Deed dated February 20, 1974 by Rex George Moores, et al (“Moores and Nickele”), to James L. Countryman, recorded July 31, 1974 in Volume B018, pages 553-554, Official Records.

In 1974, apparently, Moores and Nickele were the owners of the RADE land, that is, Parcel 2, and AP 43. According to this Easement Deed, Countryman was granted “an easement for ingress and egress for road purposes” in “a strip of land [within Parcel 2] . . . 36.00 feet wide” extending westerly from APN 043 to the easterly boundary of the Ebrahimi land (the “1974 roadway easement”). This roadway alignment is depicted in Exhibit “C” and Exhibit “E” attached to the 2016 RADE LLA.

Furthermore, it appears that an adjoining portion of the RADE land, according to Exhibit “D” and Exhibit “E” attached to the 2016 RADE LLA, was intended to become subject to an “easement for ingress, egress & utilities” that would also be appurtenant to the Ebrahimi land. Apparently, this additional easement was not granted of record to Ebrahimi.

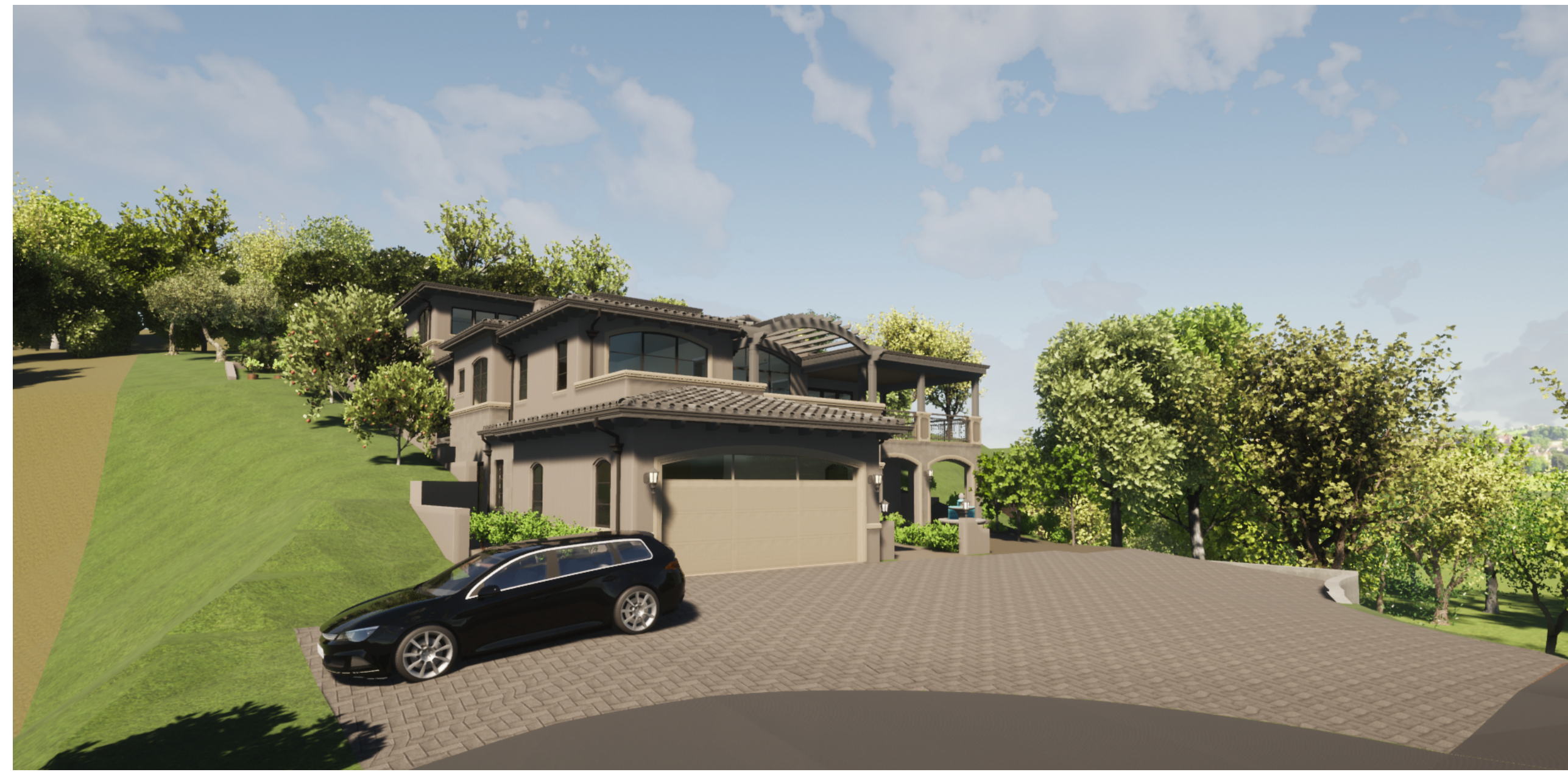
Conclusions

In my opinion, the title in fee as to APN 043 is vested in RADE, or RADE’s successors in interest. The title to the RADE land, including APN 043, is subject to the effect of the Wood Road right of way, appurtenant to the Ebrahimi land, and the 1974 roadway easement, and the effect of the additional easement described in “Exhibit “D” and depicted in “Exhibit E” of the 2016 RADE LLA, both appurtenant to the Ebrahimi land.

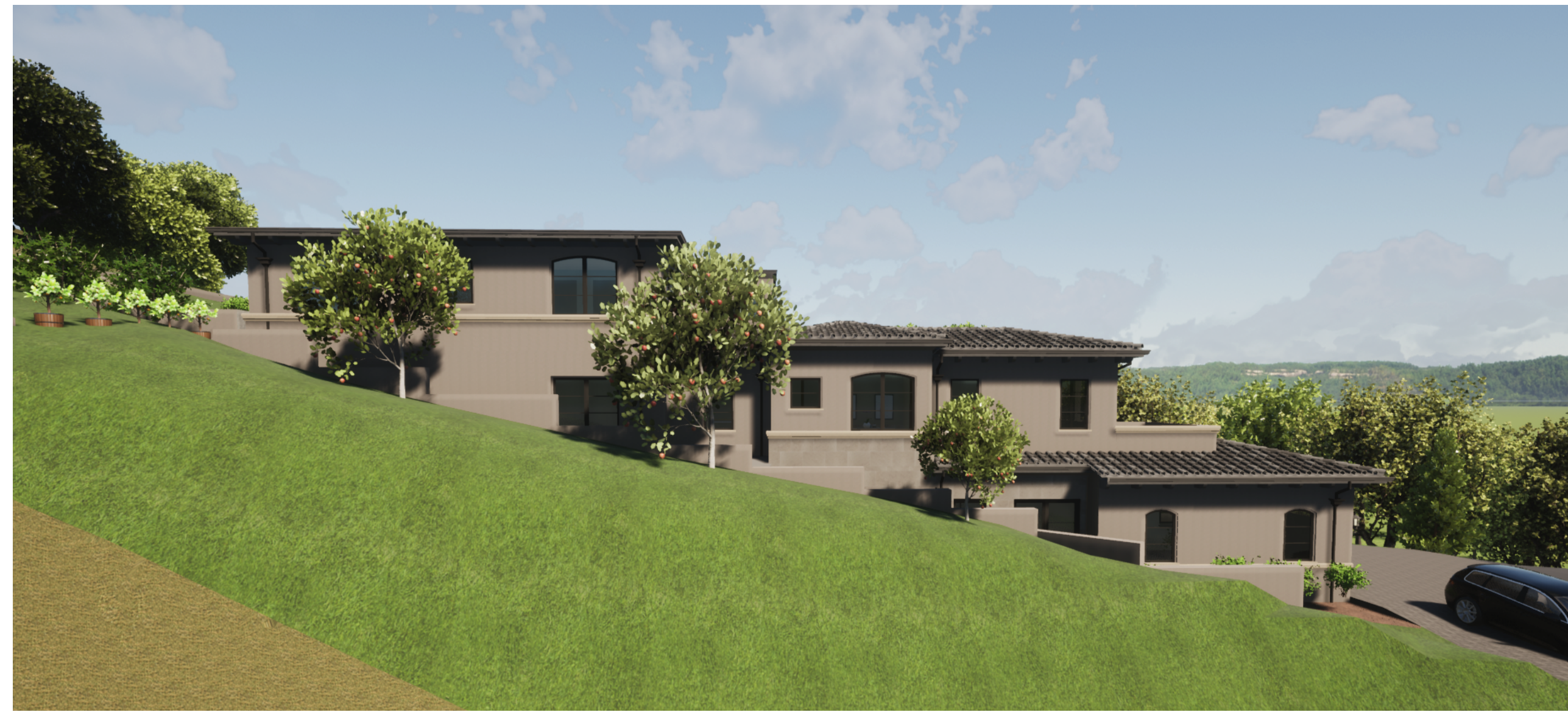
Best regards,

Jim E. Weller

Jim Weller



VIEW FROM DRIVEWAY



VIEW FROM WOOD ROAD



BUILDING FRONT VIEW FROM DRIVEWAY

ARCHITECTURE AND SITE APPLICATION FOR THE BOUKNIGHT RESIDENCE

145 WOOD ROAD*
LOS GATOS, CA 95030

*ADDRESS NUMBER PENDING APPROVAL

REVISIONS	
Resubmit	4.17.21
Resubmit	5.26.21
Resubmit	8.13.21

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE., TULOS GATOS, CA 95030 • (408) 396-2555

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

VICINITY MAP	PROJECT DIRECTORY	FIRE/ BUILDING NOTES	PROJECT DATA	SHEET INDEX																										
	<p>OWNERS: KAVITA AND OVARI BOUKNIGHT 16711 SHANNON ROAD LOS GATOS, CA 95032</p> <p>GEOLOGIC & GEOTECHNICAL ENGINEERING: G2EARTH 750 CAMPDEN AVE, SUITE A CAMPBELL, CA 95028 TEL: (408) 866-8486</p> <p>CIVIL ENGINEERING AND SURVEYOR: HANNA SRINIVETTI 1651 EGGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2178</p> <p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 396-2555</p> <p>LANDSCAPE ARCHITECT: DAVID R. FOX & COMPANY 1188 KOTENBERG AVE SAN JOSE, CA 95128 TEL: (408) 761-0212</p>	<ul style="list-style-type: none"> FIRE SPRINKLERS: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 91B.2 as adopted and amended by L97C. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 909.9.5 and Health and Safety Code 18114.7 ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall conform with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. [CFC Sec. 909.11] EMERGENCY GATE/ACCESS GATE REQUIREMENTS: Gate installations shall conform with Fire Department Standard Details and Specification 6-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access device. Knox Key-switch is required for the automatic gate. FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: Provide an access driveway with a paved all-weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 18 feet 6 inches, minimum circulating turning radius of 36 feet outside and 28 feet inside, and a maximum slope of 18%; installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 503. CONSTRUCTION SITE FIRE SAFETY: All construction site must comply with applicable provisions of the CFC chapter 53 and County of Santa Clara Standard Detail and Specification 51-1. REACH CODE COMPLIANCE: This residence will comply with the town's electric appliance, electric vehicle and energy storage system requirements in accordance with town code section 6-10-050 and 6-10-050. 	<p>PROJECT ADDRESS: 145 WOOD ROAD, LOS GATOS (ADDRESS PENDING)</p> <p>APFN: 510-47-045</p> <p>ZONING: HR-5</p> <p>OCCUPANCY GROUP: R-3, U</p> <p>CONSTRUCTION TYPE: V-B</p> <p>GROSS & NET SITE AREA: 24,682 SF</p> <p>AVERAGE LOT SLOPE: 35.1%</p> <p>NET LOT AREA: 1182.26SF (AFTER 60% DEDUCTION)</p> <p>PARKING: 2 SPACES IN GARAGE, 4 SPACES ON DRIVEWAY</p> <p>FIRE SPRINKLER: WILL PROVIDE</p> <p>MAX. ALLOWABLE FLOOR AREA = 9,900SF</p> <table border="1"> <thead> <tr> <th>FLOOR AREA (A)</th> <th>EXCLUSIONS (B) (1)</th> <th>(A) - (B)</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR 1,794 SF</td> <td>1,065 SF (1)</td> <td>2,804 SF</td> </tr> <tr> <td>LOWER FLOOR 2,111 SF</td> <td>1,640 SF (1)</td> <td>1,984 SF</td> </tr> <tr> <td>UPPER FLOOR 1,147 SF</td> <td>482 SF (1 & 2)</td> <td>1,147 SF</td> </tr> <tr> <td>GARAGE 44 SF</td> <td>482 SF (1 & 2)</td> <td>501 SF</td> </tr> <tr> <td>TOTAL 5,246 SF</td> <td></td> <td>6,411 SF</td> </tr> </tbody> </table> <p>* EXCLUSIONS: (1) BELOW GRADE SF (2) GARAGE UP TO 400SF</p> <p>STRUCTURE COVERAGE:</p> <table border="1"> <tbody> <tr> <td>RESIDENCE + GARAGE FOOTPRINT</td> <td>5,781 SF</td> </tr> <tr> <td>COVERED PATIOS, DECKS, BALCONIES</td> <td>1,156 SF</td> </tr> <tr> <td>POOL, SPA</td> <td>103 SF</td> </tr> <tr> <td>SUBTOTAL</td> <td>5,622 SF</td> </tr> </tbody> </table> <p>= 18.97%</p>	FLOOR AREA (A)	EXCLUSIONS (B) (1)	(A) - (B)	MAIN FLOOR 1,794 SF	1,065 SF (1)	2,804 SF	LOWER FLOOR 2,111 SF	1,640 SF (1)	1,984 SF	UPPER FLOOR 1,147 SF	482 SF (1 & 2)	1,147 SF	GARAGE 44 SF	482 SF (1 & 2)	501 SF	TOTAL 5,246 SF		6,411 SF	RESIDENCE + GARAGE FOOTPRINT	5,781 SF	COVERED PATIOS, DECKS, BALCONIES	1,156 SF	POOL, SPA	103 SF	SUBTOTAL	5,622 SF	<p>A0 COVER SHEET</p> <p>A1 OVERALL SITE PLAN (A) AERIAL</p> <p>A1.1 ARCH SITE PLAN</p> <p>A1.2 GRADING EXCEPTION SITE PLAN</p> <p>1 TOWN NOTES, PROJECT DATA & ABBREVIATIONS</p> <p>2 BLUEPRINT FOR A CLEAN BAY SHEET</p> <p>3 EXISTING TOPOGRAPHIC SURVEY</p> <p>4 SITE & UTILITY PLAN AND LEGEND</p> <p>5 GRADING & DRAINAGE PLAN</p> <p>6 GRADING & DRAINAGE PLAN</p> <p>7 EROSION CONTROL PLAN</p> <p>L1.0 PRELIMINARY LANDSCAPE PLAN</p> <p>L1.1 FULL SITE LANDSCAPE</p> <p>L1.2 PROPOSED STRUCTURE</p> <p>L2.0 SECTIONS</p> <p>L3.0 TREE PLAN</p> <p>L4.0 PLANTING PLAN</p> <p>A3 LOWER FLOOR PLAN</p> <p>A4 MAIN FLOOR PLAN</p> <p>A5 UPPER FLOOR PLAN</p> <p>A6 ROOF PLAN</p> <p>A7 ELEVATIONS</p> <p>A8 ELEVATIONS</p> <p>A9 SECTIONS</p> <p>A10 SECTIONS</p> <p>VB.1 VISIBILITY STUDY</p> <p>VB.2 VISIBILITY STUDY</p>
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<p>SCOPE OF WORK</p> <p>SITE AND ARCHITECTURAL DEVELOPMENT ON AN EXISTING VACANT HR-5 ZONED LOT. WORK TO INCLUDE:</p> <p>STRUCTURES: CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED GARAGE AND BELOW GRADE FLOOR AREAS. 2. OPEN TRELLIS AND LOGGIA 3. UTILITY CONNECTIONS 4. PLANNING FOR FUTURE POOL AND SECURITY FENCING 5. PAVED YARD AREAS 6. LANDSCAPE AND IRRIGATIONS</p> <p>SITE WORK (SEE CIVIL AND LANDSCAPE PLANS FOR DETAILS): 1. ACCESS DRIVEWAY INCLUDING FIRE TRUCK TURNAROUND 2. UTILITY CONNECTIONS 3. PLANNING FOR FUTURE POOL AND SECURITY FENCING 4. PAVED YARD AREAS 5. LANDSCAPE AND IRRIGATIONS</p> <p>ALSO SEE CIVIL PLANS FOR GRADING, DRAINAGE SCOPES. NO TREE IS PROPOSED TO BE REMOVED.</p>		<p>DEFERRAL SUBMITTALS</p> <ul style="list-style-type: none"> PRIVATE FIRE PROTECTION SYSTEM: RESIDENTIAL FIRE PROTECTION SYSTEMS SHALL COMPLY WITH FIRE DEPARTMENT STANDARDS A-1 AND MANUFACTURER'S REQUIREMENTS. FIRE PROTECTION WATER SYSTEMS SHALL BE PERMITTED, INSTALLED AND APPROVED BY THE FIRE PREVENTION OFFICE. THE IN-HOUSE HYDRANT SHALL BE ACCESSIBLE AT ALL TIMES. TANK SYSTEMS PROVIDING BOTH THE DOMESTIC SUPPLY AND SUPPLY TO THE SPRINKLER SYSTEM AND/OR HYDRANT MAY REQUIRE CROSS CONTAMINATION PROTECTION. HYDRANT AND TANK OUTLETS SHALL BE INSTALLED SUCH THAT THE CENTER OF THE HOSE CONNECTION IS NOT LESS THAN EIGHTEEN (18") INCHES NOR MORE THAN THIRTY (30") INCHES ABOVE THE FINAL GRADE. TWO NEW 5000 GALLON WATER TANKS TO BE INSTALLED. FV SYSTEM - A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE FV SYSTEM AS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. 																												

NOTE: These drawings shall be used for all construction, alterations and conditions, prior to starting any construction, the contractor shall verify all dimensions and conditions called by field conditions. No other conditions different from those shown on these drawings shall be used without the approval of the Architect's station prior to installation.

COVER SHEET

DATE: 1/25/21
SCALE: AS SHOWN

SHEET
A0
OF -

REVISIONS	
1	Resubmit 4.17.21
2	Resubmit 5.26.21
3	Resubmit 8.13.21

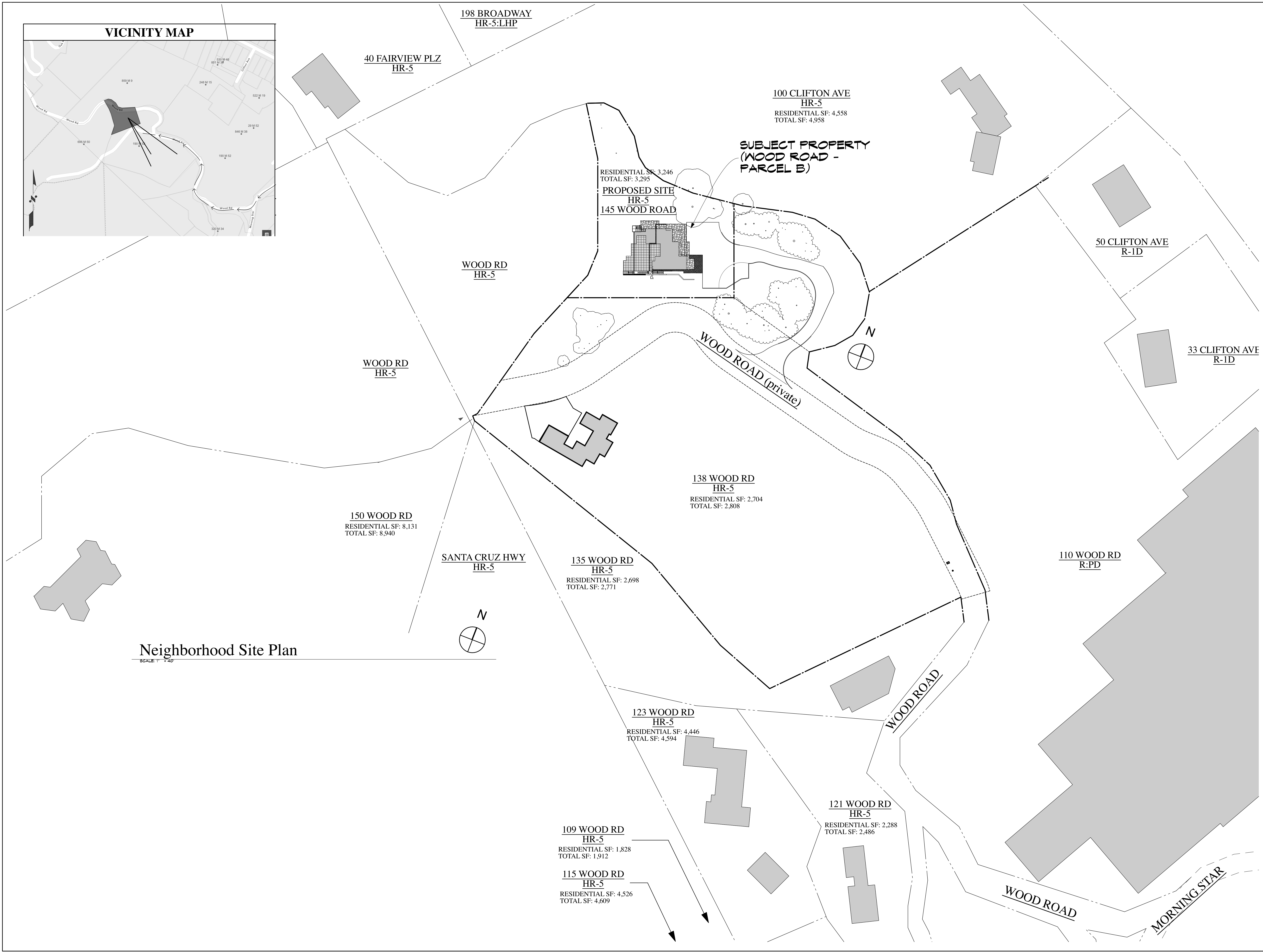
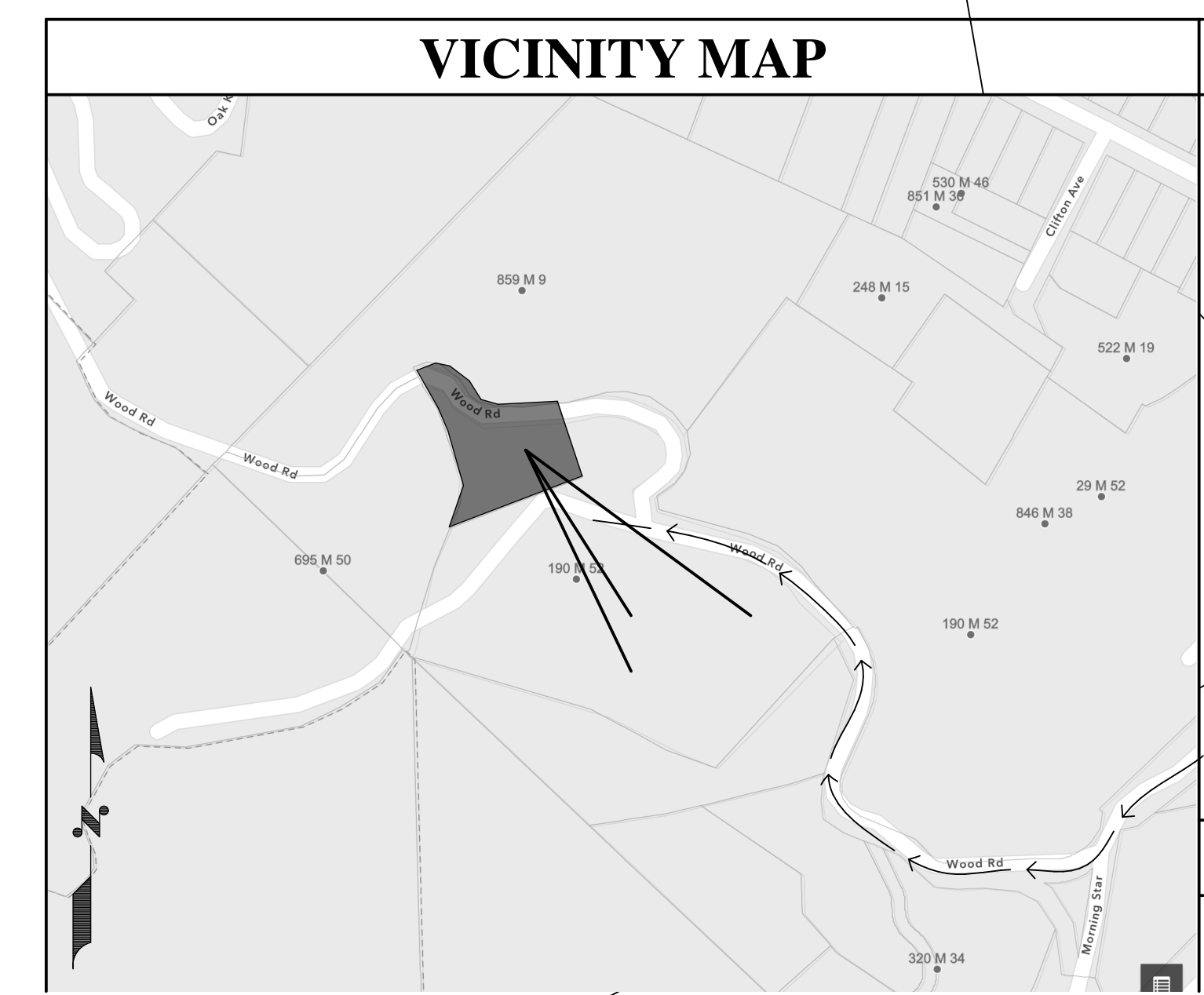
KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 396-2555

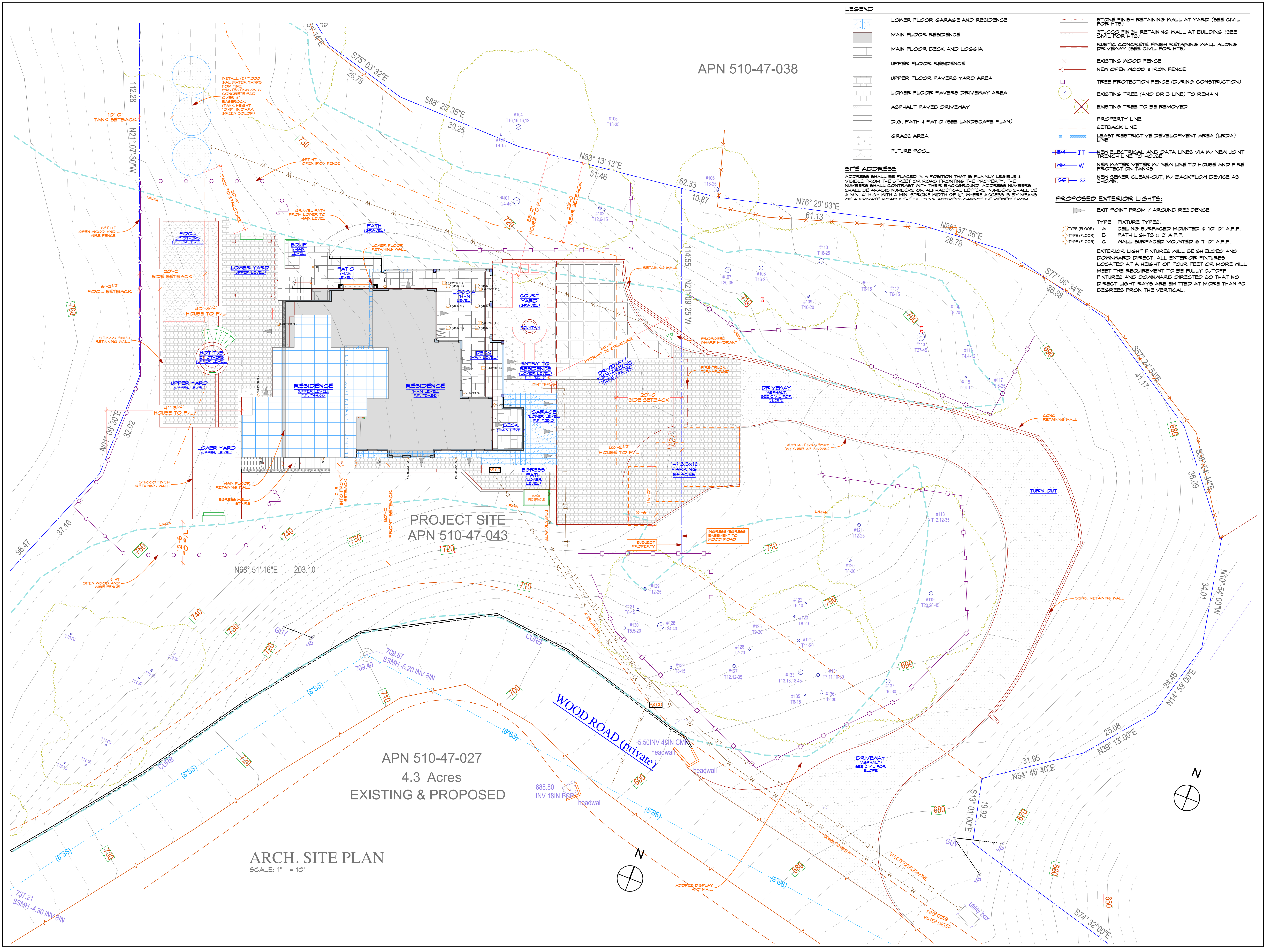
ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: These shall work all elements, interventions and conditions, prior to starting any construction called by field conditions. No any conditions different from those shown on this plan shall be allowed without written consent to the Architect's attention prior to installation.

OVERALL SITE PLAN W/AERIAL

DATE: 1/25/21
 SCALE: AS SHOWN
 SHEET
A1
 OF -





- LEGEND**
- LOWER FLOOR GARAGE AND RESIDENCE
 - MAIN FLOOR RESIDENCE
 - MAIN FLOOR DECK AND LOGGIA
 - UPPER FLOOR RESIDENCE
 - UPPER FLOOR PAVERS YARD AREA
 - LOWER FLOOR PAVERS DRIVEWAY AREA
 - ASPHALT PAVED DRIVEWAY
 - D.G. PATH & PATIO (SEE LANDSCAPE PLAN)
 - GRASS AREA
 - FUTURE POOL
- STONE FINISH RETAINING WALL AT YARD (SEE CIVIL FOR HTS)
 - STUCCO FINISH RETAINING WALL AT BUILDING (SEE CIVIL FOR HTS)
 - SUBSTANTIAL CONCRETE FINISH RETAINING WALL ALONG DRIVEWAY (SEE CIVIL FOR HTS)
 - EXISTING WOOD FENCE
 - NEW OPEN WOOD & IRON FENCE
 - TREE PROTECTION FENCE (DURING CONSTRUCTION)
 - EXISTING TREE (AND DRIB LINE) TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - PROPERTY LINE
 - SETBACK LINE
 - LEAST RESTRICTIVE DEVELOPMENT AREA (LRDA)
 - NEW ELECTRICAL AND DATA LINES VIA NEW JOINT TRENCH LINE TO HOUSE
 - NEW WATER METER, NEW LINE TO HOUSE AND FIRE PROTECTION TANKS
 - NEW SEWER CLEAN-OUT, NEW BACKFLOW DEVICE AS SHOWN
- PROPOSED EXTERIOR LIGHTS:**
- EXIT POINT FROM / AROUND RESIDENCE
 - TYPE (FLOOR)
 - TYPE (FLOOR)
 - TYPE (FLOOR)
- TYPE FIXTURE TYPES:**
- A CEILING SURFACED MOUNTED @ 10'-0" A.F.F.
 - B PATH LIGHTS @ 2' A.F.F.
 - C WALL SURFACED MOUNTED @ 7'-0" A.F.F.
- EXTERIOR LIGHT FIXTURES WILL BE SHIELDED AND DOWNWARD DIRECT. ALL EXTERIOR FIXTURES LOCATED AT A HEIGHT OF FOUR FEET OR MORE WILL MEET THE REQUIREMENT TO BE FULLY CUTOFF FIXTURES AND DOWNWARD DIRECTED SO THAT NO DIRECT LIGHT RAYS ARE EMITTED AT MORE THAN 40 DEGREES FROM THE VERTICAL.**

SITE ADDRESS
 ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. 4" HIGH WITH A MIN. STROKE WIDTH OF 3/8". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD, THE SIGNING ADDRESS NUMBER SHALL BE VIEWED FROM

REVISIONS

Resubmit 4.17.21
Resubmit 5.26.21
Resubmit 8.13.21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., LOS GATOS, CA 95030 • (408) 396-2555

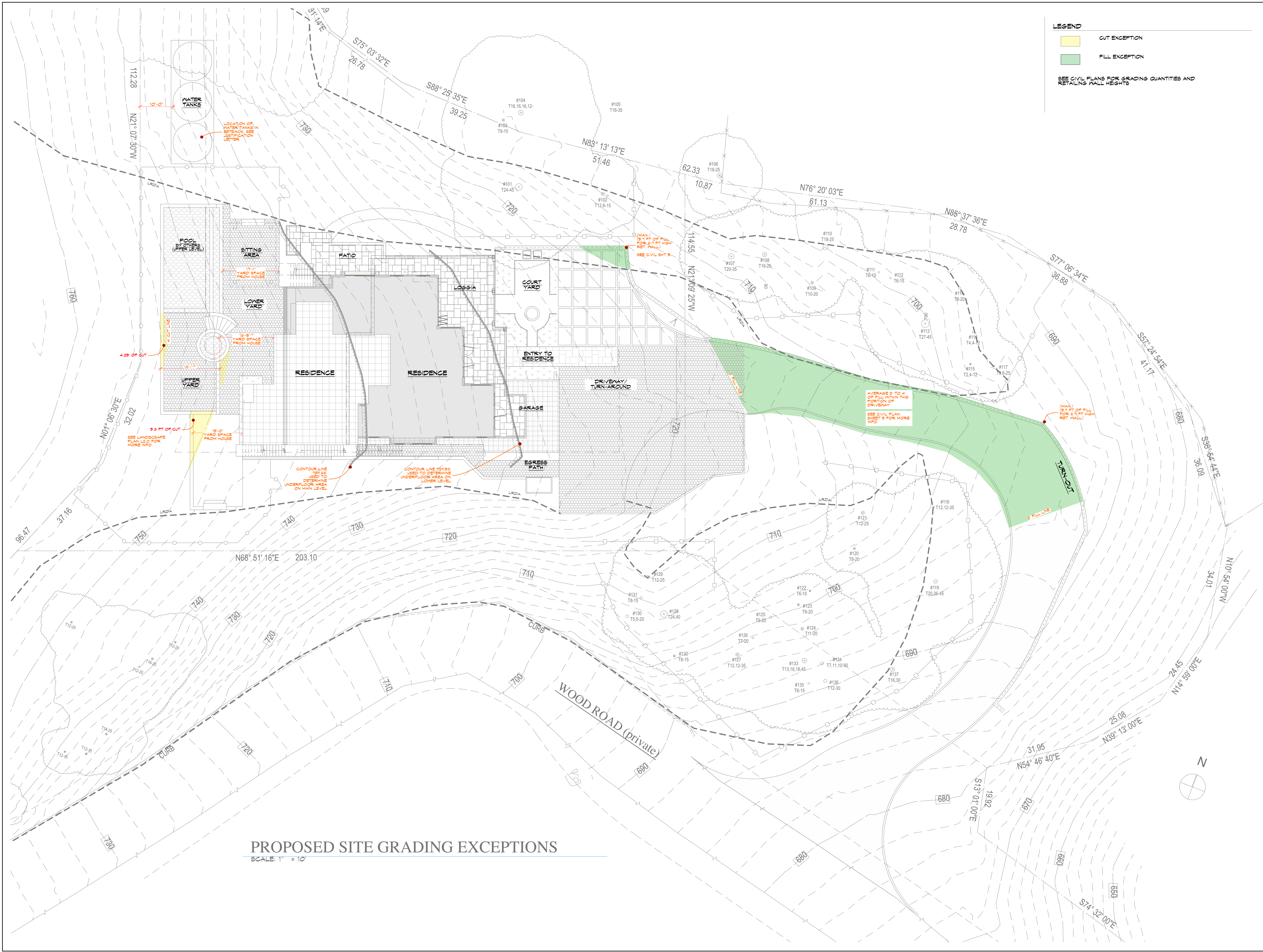
ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Designer shall verify all dimensions, elevations and conditions, prior to starting any construction. Any revisions called by field conditions, or any conditions different from those shown on the drawings, shall be brought to the Architect's attention prior to installation.

ARCH SITE PLAN

DATE: 1/25/21
 SCALE: AS SHOWN

SHEET
A1.1
 OF -



LEGEND

CUT EXCEPTION

FILL EXCEPTION

SEE CIVIL PLANS FOR GRADING QUANTITIES AND RETAINING WALL HEIGHTS

REVISIONS	
Resubmit	4.17.21
Resubmit	5.26.21
Resubmit	8.13.21

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., TULSA, OKLAHOMA, OK 74103 • (918) 486-3555

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Designer shall verify all dimensions, elevations and conditions, prior to starting any construction called by field conditions. If any conditions differ from those shown on this plan, the contractor shall notify the Architect's attention prior to installation.

GRADING EXCEPTION SITE PLAN

DATE: 1/25/21
 SCALE: AS SHOWN
 SHEET
A1.2
 OF -

PROPOSED SITE GRADING EXCEPTIONS
 SCALE: 1" = 10'

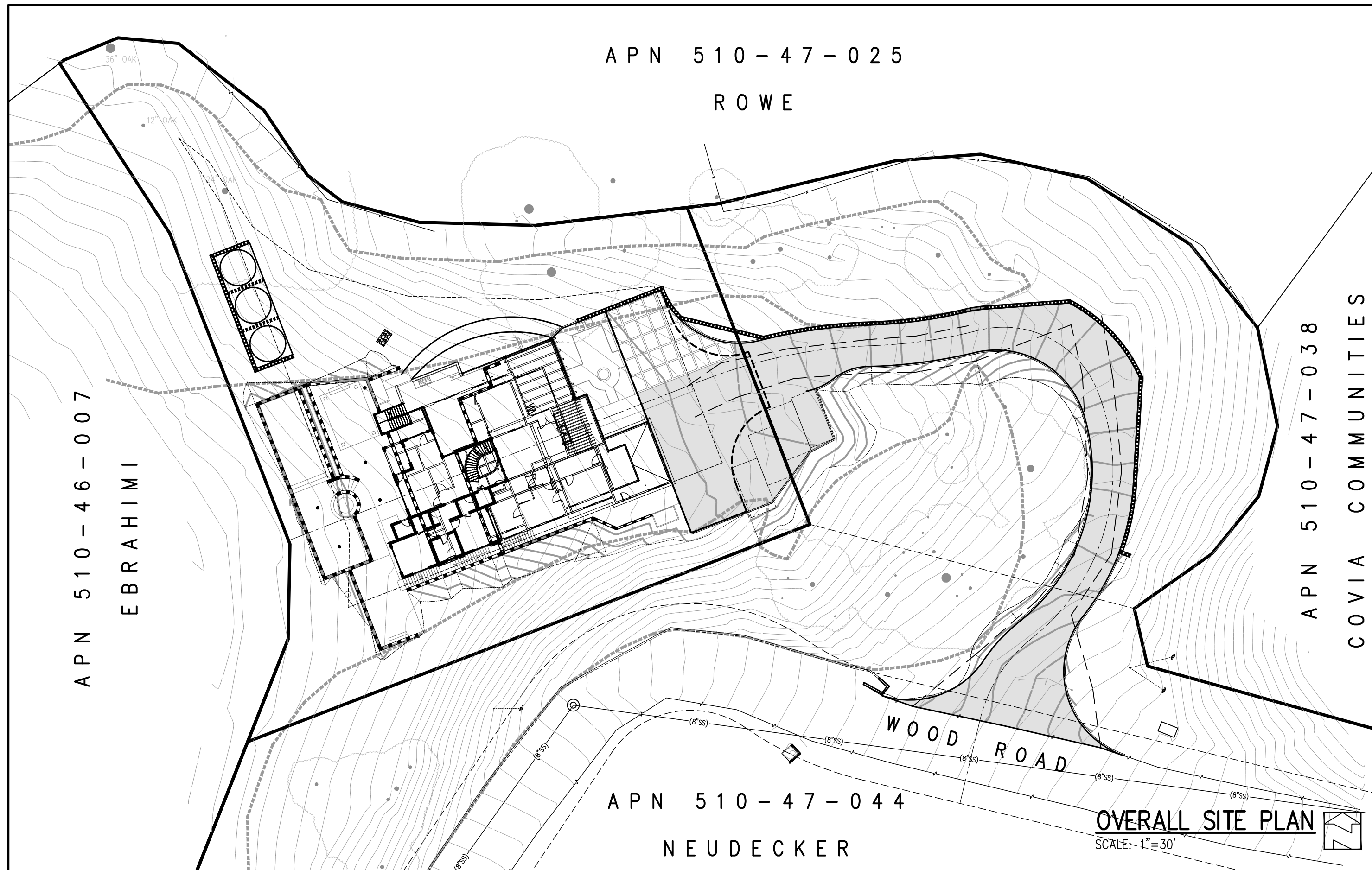
PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS

145 WOOD ROAD - APN 510-47-045
TOWN OF LOS GATOS

ARCHITECTURE AND SITE APPLICATION NO. S-21-003

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT. THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER.REFERENCE REPORT NO. _____, DATED _____, LETTER NO. _____, DATED _____, SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (4080) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
- DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR: _____ PHONE: _____
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.



TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WATER OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC RADIATOR OR BATTERY FLUIDS, CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DREGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFFS, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

BASIS OF BEARINGS

THE BEARINGS ON THESE PLANS ARE BASED ON THE FOUND MONUMENTS ALONG THE WESTERLY PROPERTY LINE WITH A BEARING OF NORTH 21' 31" 04" EAST PER RECORDED DOCUMENT NUMBER 23477967.

BENCHMARK

BENCHMARK ID: BM1003
ORGANIZATION: SANTA CLARA VALLEY WATER DISTRICT
ELEVATION: 412.80 FEET (NAV088)

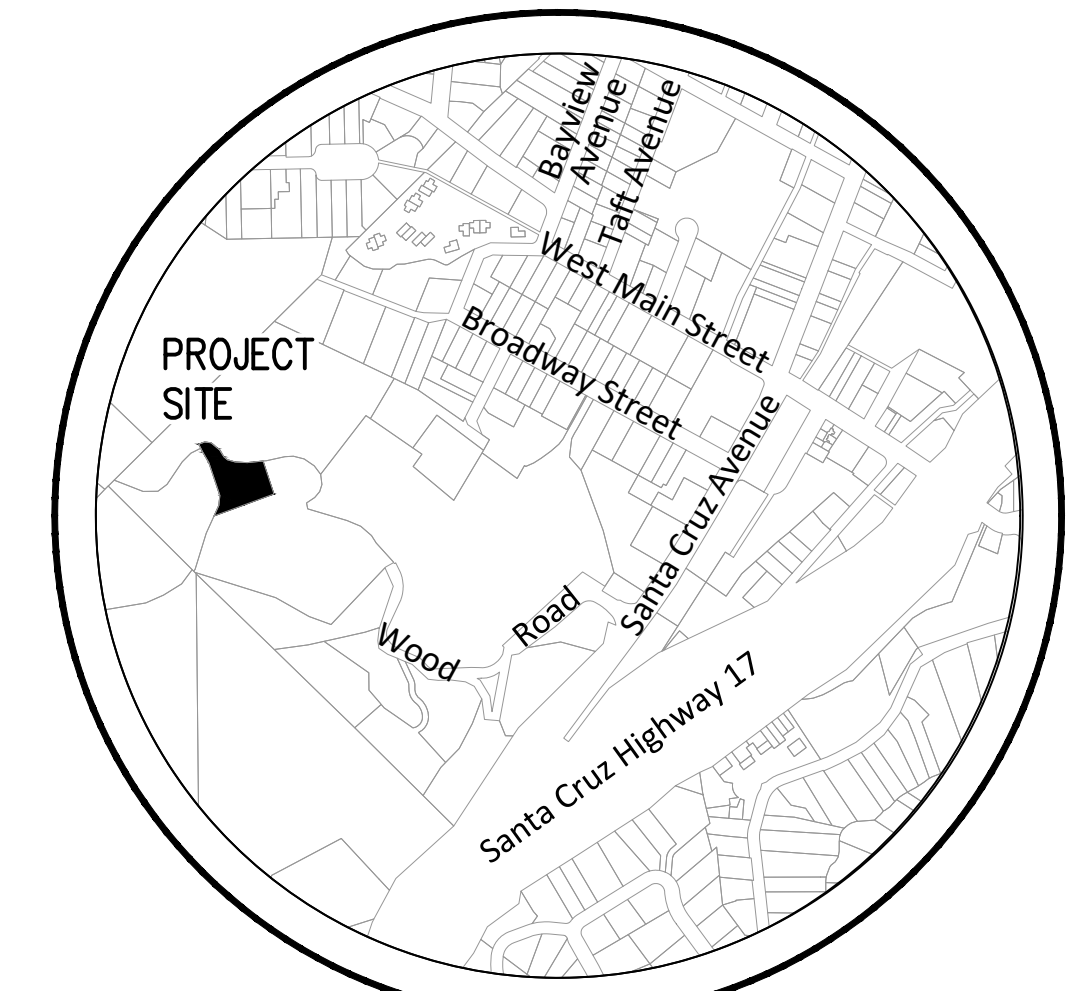
DESCRIPTION:
BRASS DISK ON TOP OF CONCRETE SIDEWALK; AT THE SOUTH CORNER OF INTERSECTION FOR S SANTA CRUZ AVENUE AND W MAIN STREET; ABOUT 100 FEET SOUTHWEST FROM CENTERLINE FOR W MAIN STREET; NEAR A PUBLIC BUS STOP; RESET IN 2007. TOWN OF LOS GATOS.

FLOODZONE STATEMENT

COMMUNITY PANEL NUMBER: 06085C0376H
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE X

ZONE X
AN AREA INUNDATED BY 500-YEAR FLOODING; AN AREA INUNDATED BY 100-YEAR FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; OR AN AREA PROTECTED BY LEVEES FROM 100-YEAR FLOODING.



VICINITY MAP

SHEET INDEX

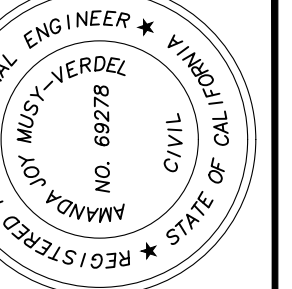
- TOWN NOTES, PROJECT DATA & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHIC SURVEY
- SITE & UTILITY PLAN AND LEGEND
- GRADING & DRAINAGE PLAN - 20 SCALE DRIVEWAY PROFILE
- GRADING & DRAINAGE PLAN - 10 SCALE
- EROSION CONTROL PLAN

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

TOTAL SITE AREA: 29,632 SF	TOTAL SITE AREA DISTURBED: 14,637 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)			TOTAL AREA POST-PROJECT (SF)
	EXISTING AREA (SF)	PROPOSED AREA (SF) REPLACED	NEW	
IMPERVIOUS AREA	0	0	8,227 SF	8,227 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA		0	8,227 SF	
PERVIOUS AREA	29,632 SF	21,405 SF	0	21,405 SF

ABBREVIATIONS

GA GAUGE	R/W RIGHT-OF-WAY
GB GRADE BREAK	(S) SOUTH
ON GAS METER	S SLOPE
GS GAS SERVICE	SCC SANTA CLARA COUNTY
HDPE HIGH-DENSITY POLYETHYLENE	SCFD SANTA CLARA COUNTY FIRE DEPARTMENT
HP HIGH POINT	SD STORM DRAIN
IEE INGRESS/EGRESS EASEMENT	SDCO STORM DRAIN CLEANOUT
IN INCH	SDE STORM DRAIN EASEMENT
INV INVERT ELEVATION	SDMH STORM DRAIN MANHOLE
LAT LATERAL	SDR STANDARD DIMENSION RATIO
LG LP OF GUTTER	SF SQUARE FEET
LP LOW POINT	SIWC SAN JOSE WATER COMPANY
MAX MAXIMUM	SS SANITARY SEWER
MH MANHOLE	SSCO SANITARY SEWER CLEANOUT
MIN MINIMUM	SSE SANITARY SEWER EASEMENT
MPH MILES PER HOUR	SSMH SANITARY SEWER MANHOLE
N NORTH	STD STANDARD
N.T.S. NOT TO SCALE	S/W SIDEWALK
O.C. ON CENTER	TC TOP OF CURB
O.D. OUTSIDE DIAMETER	TELE TELEPHONE
PAD PAD ELEVATION	TLG TOWN OF LOS GATOS
PCC PORTLAND CEMENT CONCRETE	TW TOP OF WALL
PERF PERFORATED	TPP TYPICAL
PG&E PACIFIC GAS & ELECTRIC COMPANY	VCP VITRIFIED CLAY PIPE
PIEE PRIVATE INGRESS/EGRESS EASEMENT	(W) WEST
PL PROPERTY LINE	W WATER
PR PROPOSED	WM WATER METER
PSDE PRIVATE STORM DRAIN EASEMENT	WS WATER SERVICE
PSE PUBLIC SERVICE EASEMENT	WV WATER VALVE
PSSE PRIVATE SANITARY SEWER EASEMENT	WVSD WEST VALLEY SANITATION DISTRICT
PLU PUBLIC UTILITY EASEMENT	XING CROSSING
PVC POLYVINYL CHLORIDE	
R RADIUS	
RCP REINFORCED CONCRETE PIPE	
RIM RIM ELEVATION	



DATE:	MAY 21, 2021
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	20053

LANDS OF BOUKNIGHT - 145 WOOD ROAD
APN 510-47-045
TOWN NOTES, PROJECT DATA & ABBREVIATIONS
ARCHITECTURE AND SITE APPLICATION NO. S-21-003
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
CIVIL ENGINEERING & ARCHITECTURE
7691 ELEGANZA STREET - GILROY, CA 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-2882
EMAIL: ENGINEERING@HANNABRUNETTI.COM

BY	DATE

REVISIONS

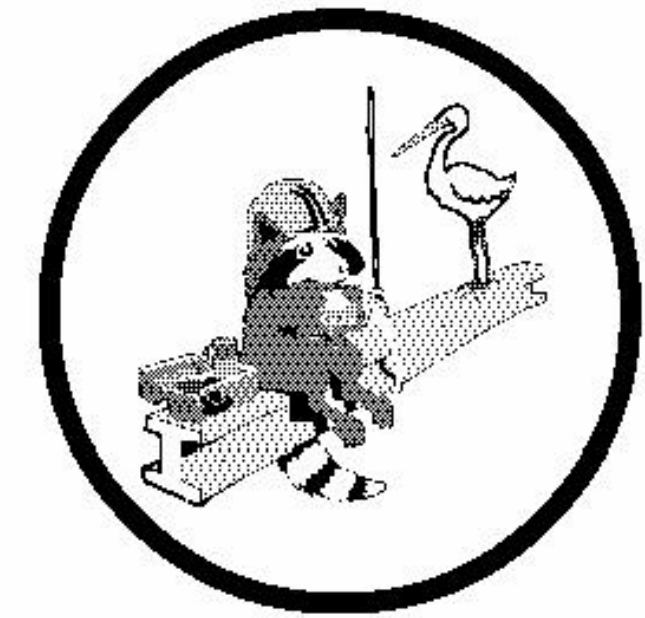
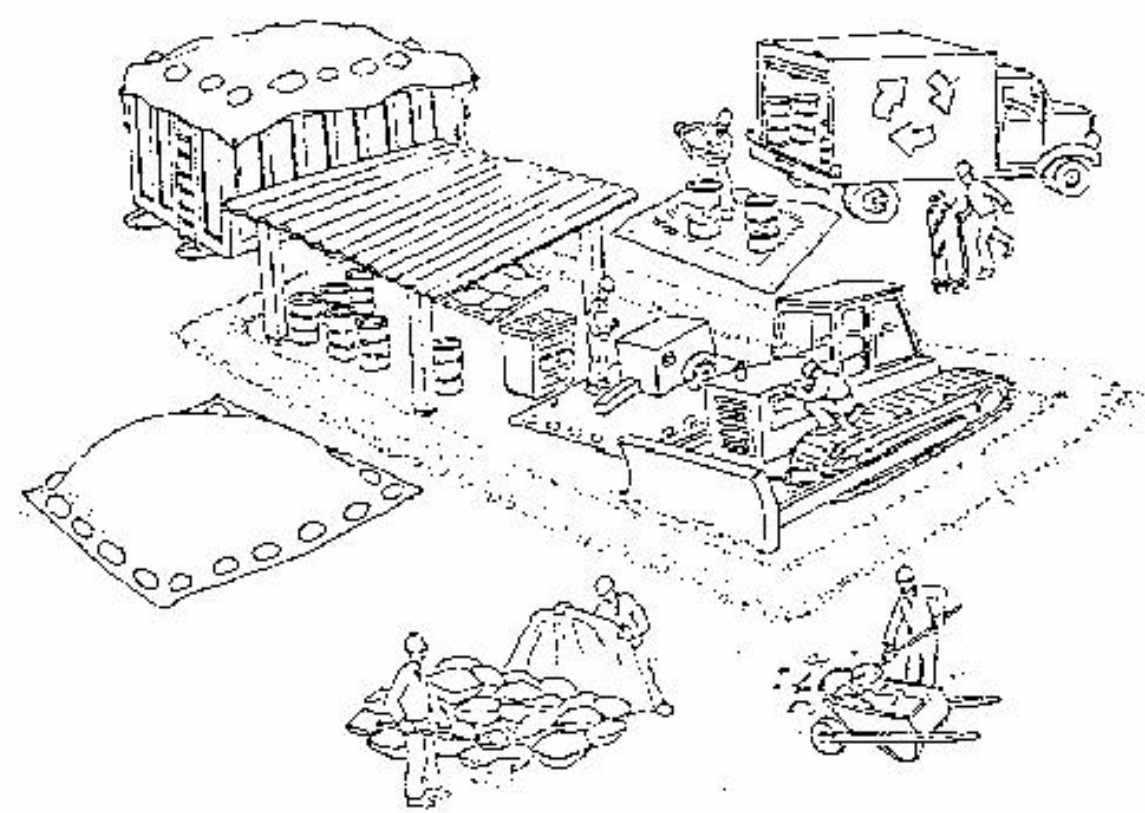
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SHEET 1 of 7

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

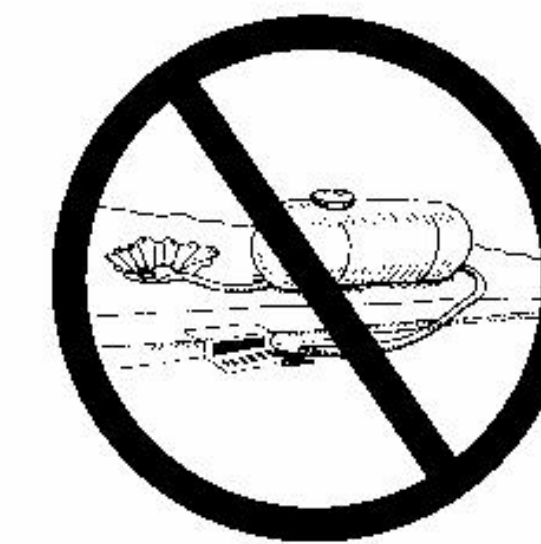
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!)
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



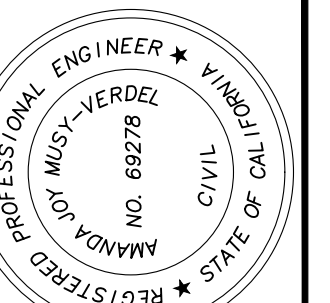
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks offsite or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

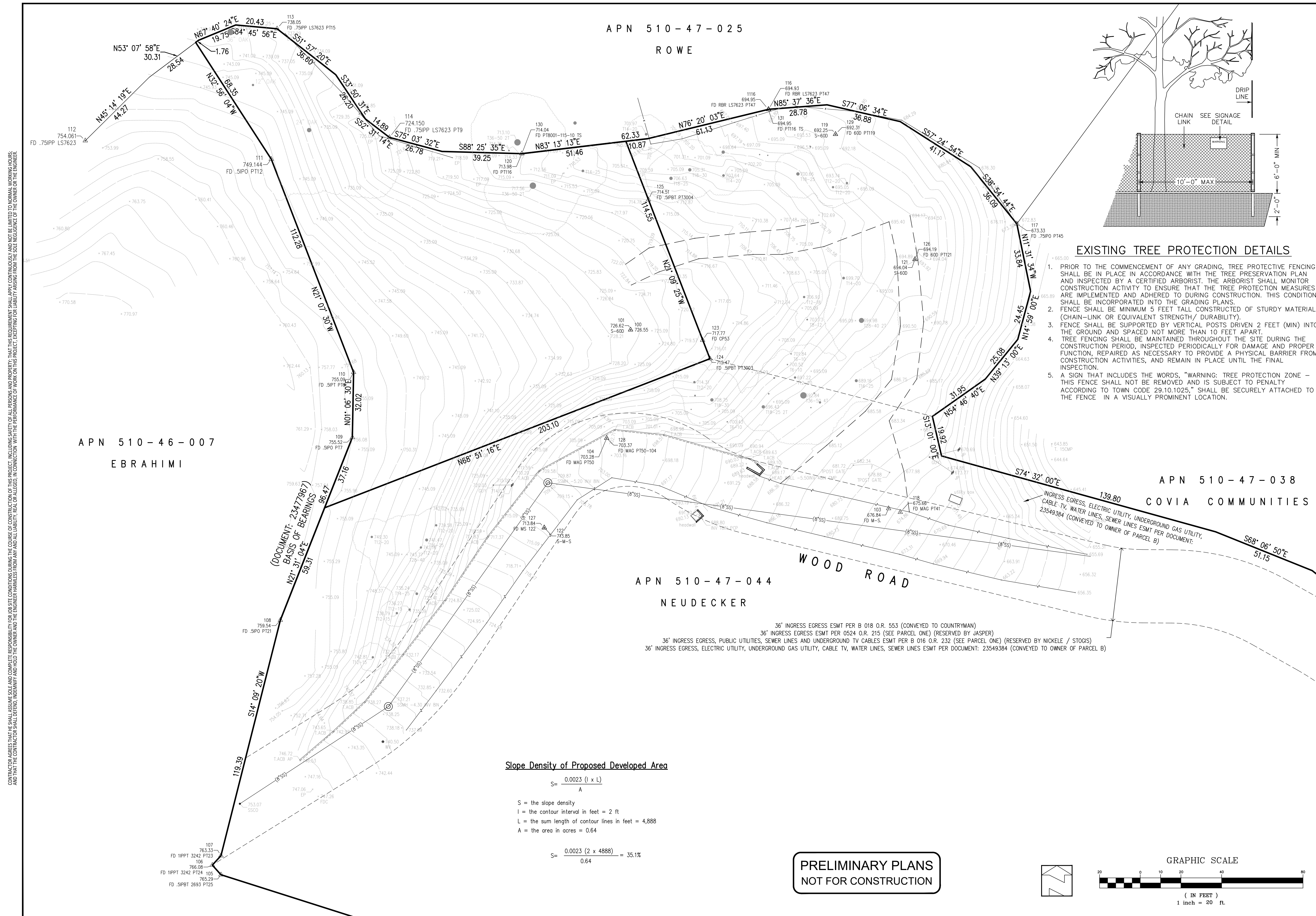


DATE:	MAY 21, 2021
SCALE:	NONE
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	20053

GRADING & DRAINAGE PLANS
LANDS OF BOUKNIGHT - 145 WOOD ROAD
APN 510-47-045
BLUEPRINT FOR A CLEAN BAY
ARCHITECTURE AND SITE APPLICATION NO. S-21-103

HANNA BRUNETTI
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REVISIONS	DATE	BY



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

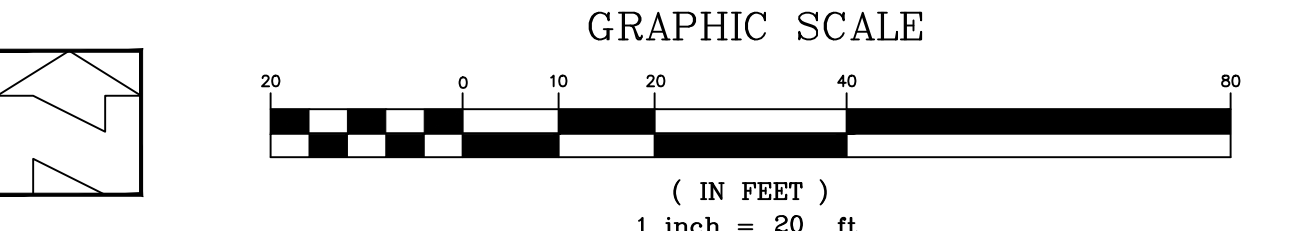
Slope Density of Proposed Developed Area

$$S = \frac{0.0023 (l \times L)}{A}$$

S = the slope density
 l = the contour interval in feet = 2 ft
 L = the sum length of contour lines in feet = 4,888
 A = the area in acres = 0.64

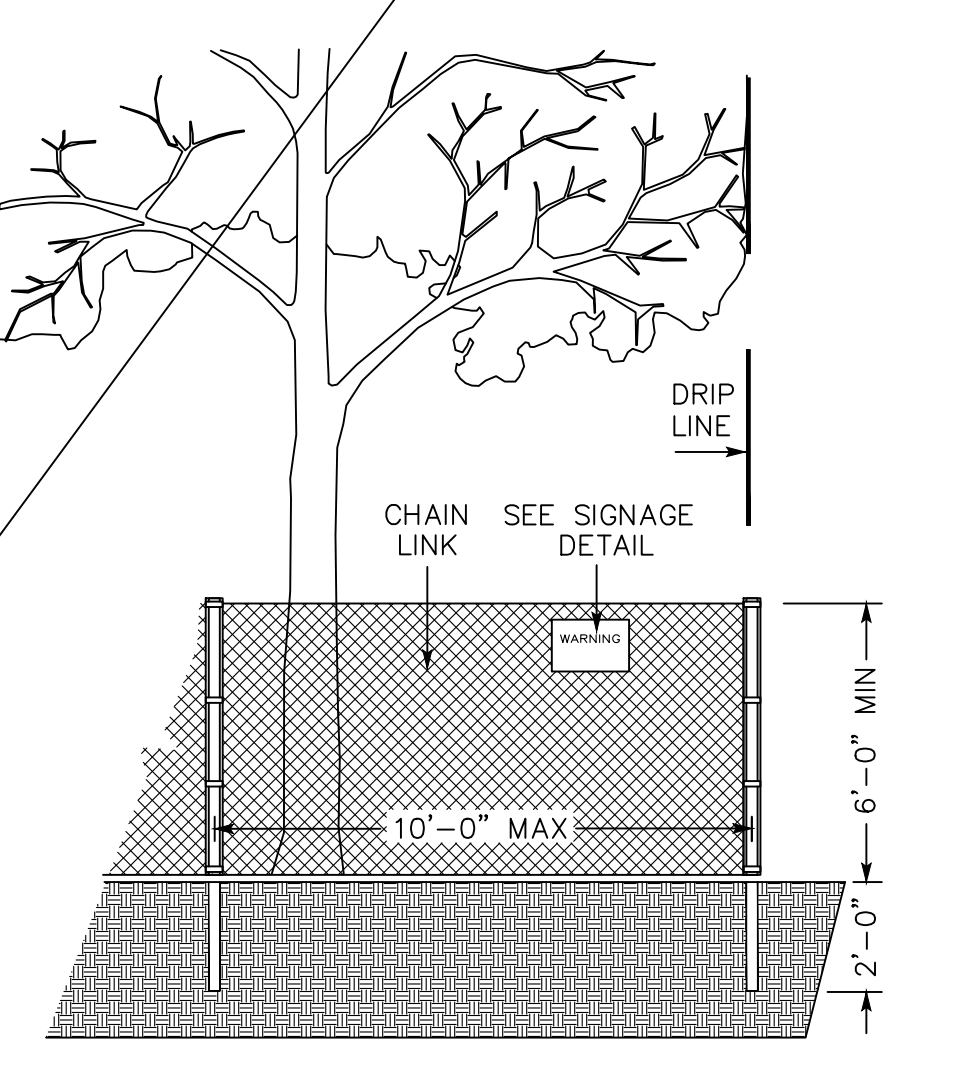
$$S = \frac{0.0023 (2 \times 4888)}{0.64} = 35.1\%$$

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCINGS SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.25," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.



DATE:	MAY 21, 2021
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
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PROJECT NO.:	20053

LANDS OF BOUKNIGHT - 145 WOOD ROAD
EXISTING TOPOGRAPHIC SURVEY

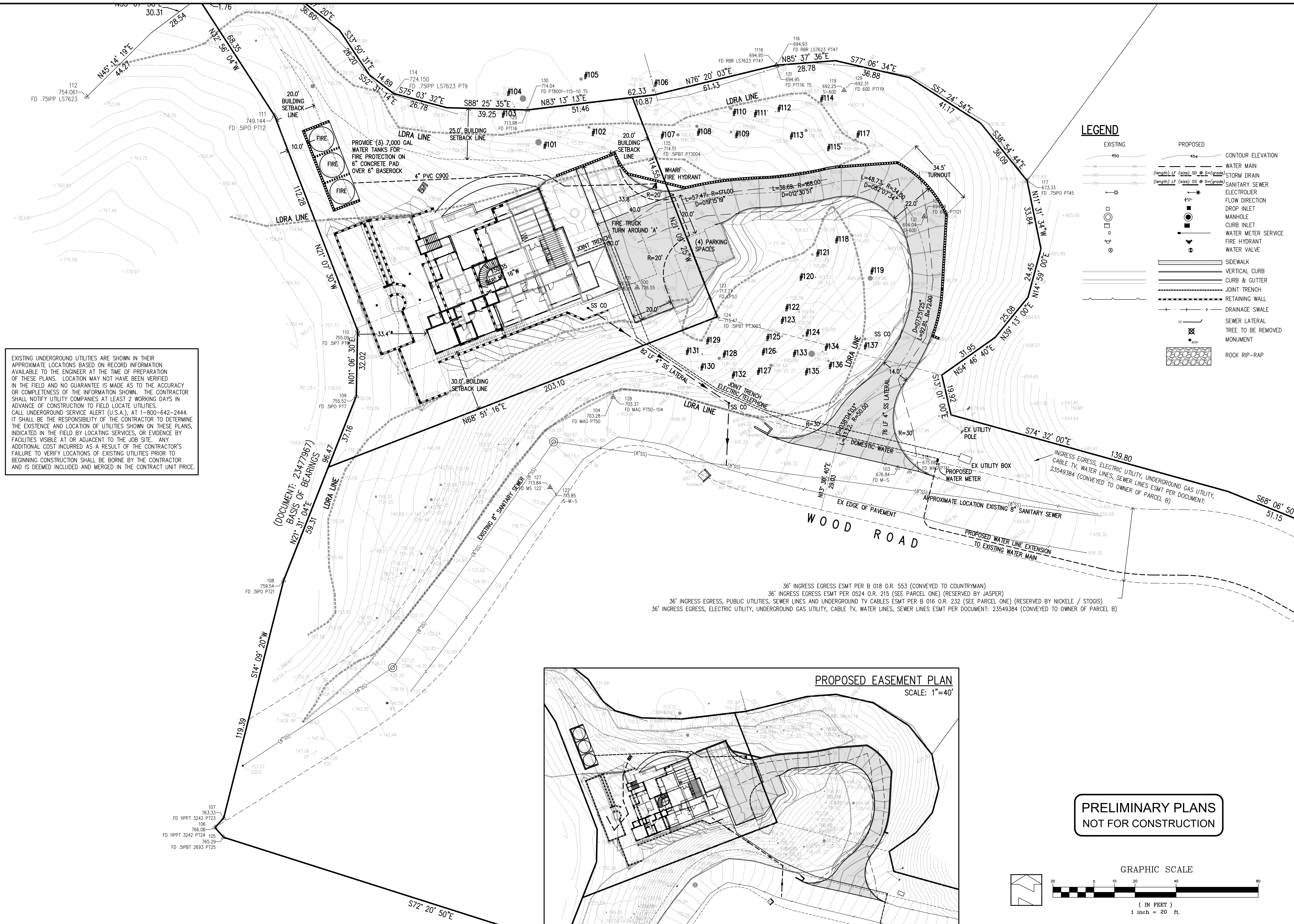
PLAN FOR THE IMPROVEMENT OF
APN 510-47-045
 ARCHITECTURE AND SITE APPLICATION NO. S-21-003

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REVISIONS	DATE	BY

SHEET **3** OF **7**

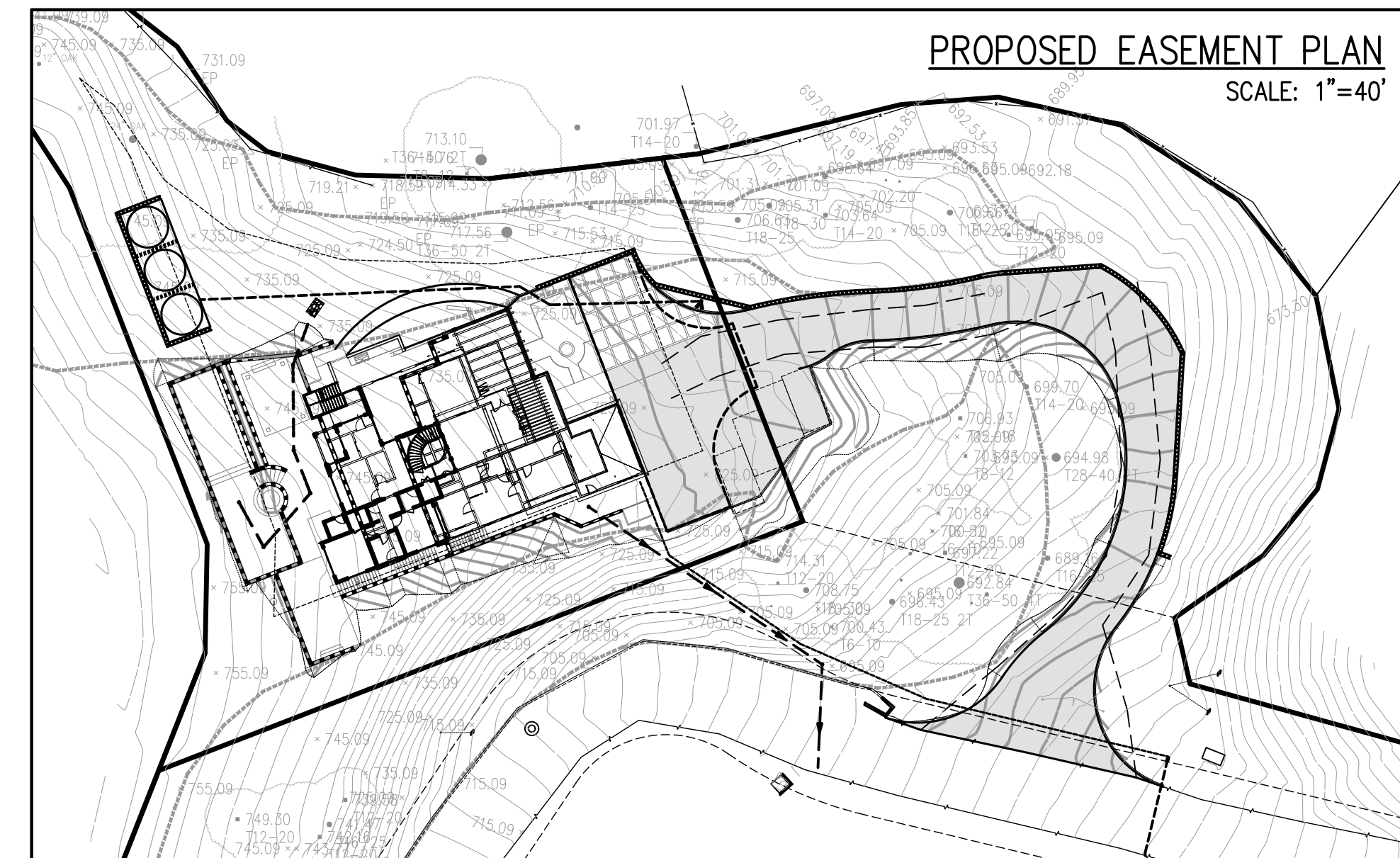
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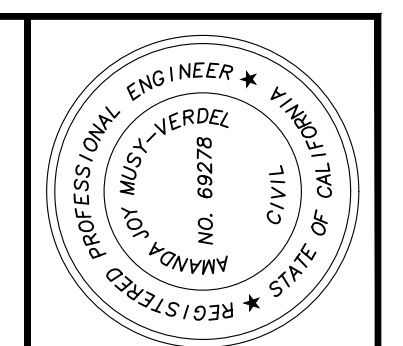
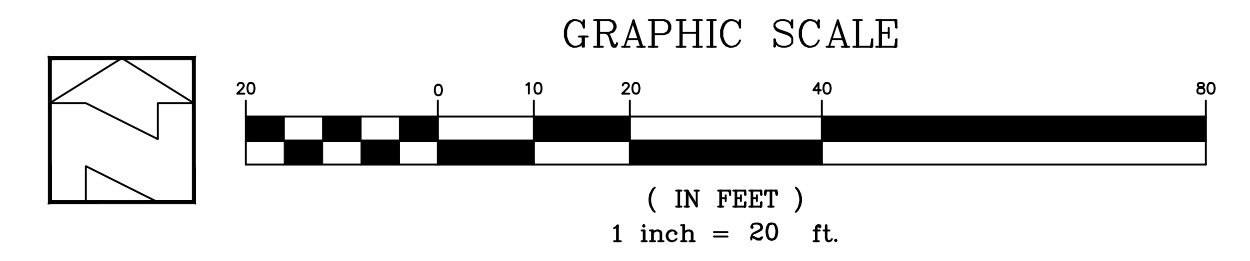
EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

(DOCUMENT: 23477967)
 N21° 37' 04"E 59.31'
 LORA LINE
 96.47'
 32.02'
 N01° 06' 30"E 119.39'
 S14° 09' 20"W
 119.39'
 S72° 20' 50"E
 572° 20' 50"E

36" INGRESS EGRESS ESMT PER B 018 O.R. 553 (CONVEYED TO COUNTRYMAN)
 36" INGRESS EGRESS ESMT PER 0524 O.R. 215 (SEE PARCEL ONE) (RESERVED BY JASPER)
 36" INGRESS EGRESS, PUBLIC UTILITIES, SEWER LINES AND UNDERGROUND TV CABLES ESMT PER B 016 O.R. 232 (SEE PARCEL ONE) (RESERVED BY NICKELE / STOIGIS)
 36" INGRESS EGRESS, ELECTRIC UTILITY, UNDERGROUND GAS UTILITY, CABLE TV, WATER LINES, SEWER LINES ESMT PER DOCUMENT: 23549384 (CONVEYED TO OWNER OF PARCEL B)



PRELIMINARY PLANS
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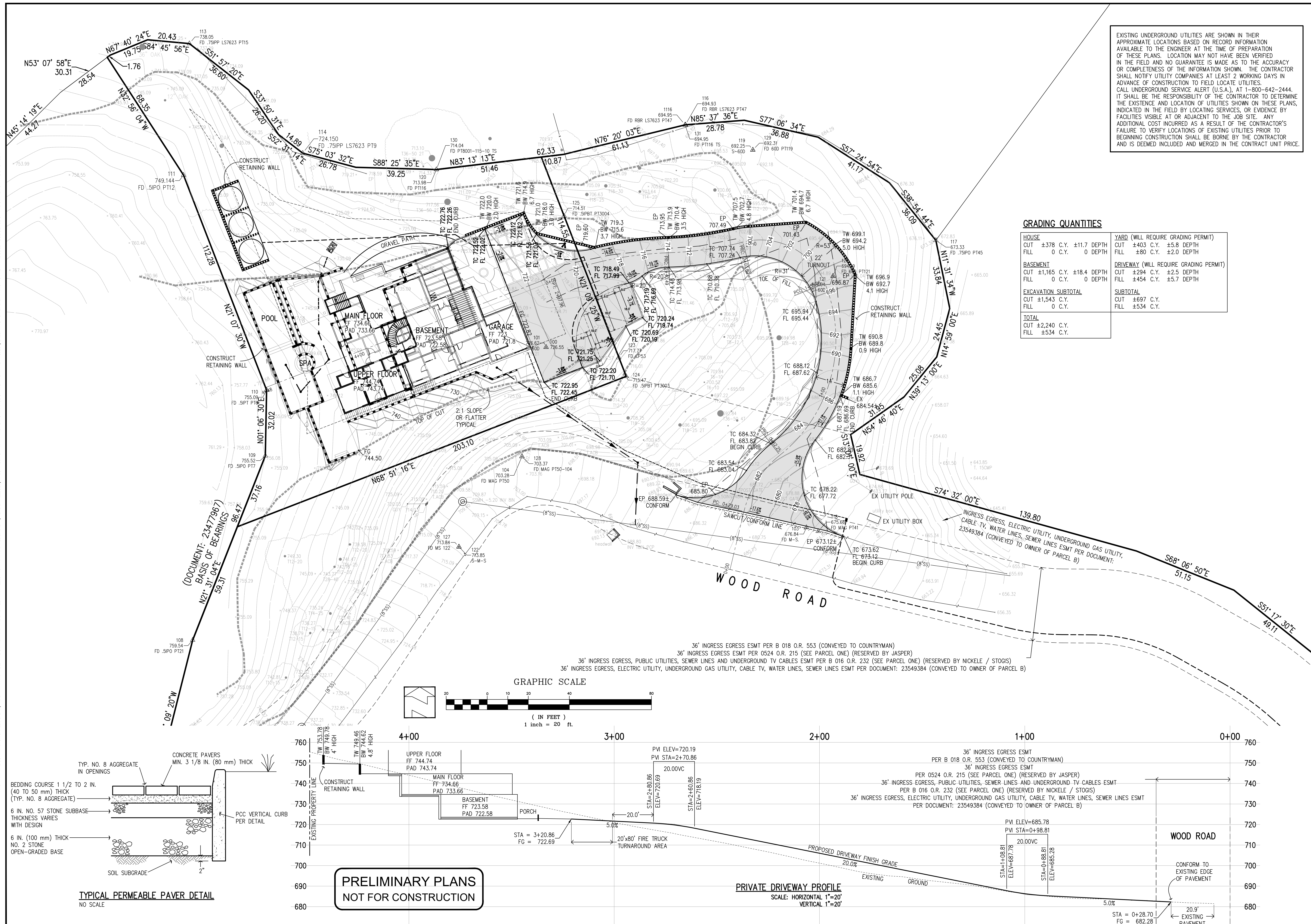
PLAN FOR THE IMPROVEMENT OF
LANDS OF BOUKNIGHT - 145 WOOD ROAD
 APN 510-47-045
SITE & UTILITY PLAN AND LEGEND
 ARCHITECTURE AND SITE APPLICATION NO. 5-11-003
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
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REVISIONS	DATE	BY

SHEET 4 OF 7

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.



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HOUSE		YARD (WILL REQUIRE GRADING PERMIT)	
CUT	±378 C.Y.	±11.7 DEPTH	CUT ±403 C.Y.
FILL	0 C.Y.	0 DEPTH	FILL ±80 C.Y.
BASEMENT		DRIVEWAY (WILL REQUIRE GRADING PERMIT)	
CUT	±1,165 C.Y.	±18.4 DEPTH	CUT ±294 C.Y.
FILL	0 C.Y.	0 DEPTH	FILL ±454 C.Y.
EXCAVATION SUBTOTAL		SUBTOTAL	
CUT	±1,543 C.Y.		CUT ±697 C.Y.
FILL	0 C.Y.		FILL ±534 C.Y.
TOTAL			
CUT	±2,240 C.Y.		
FILL	±534 C.Y.		

LANDS OF BOUKNIGHT - 145 WOOD ROAD
 APN 510-47-045
GRADING & DRAINAGE PLAN
 ARCHITECTURE AND SITE APPLICATION NO. 5-21-003

PROFESSIONAL ENGINEER - CIVIL
 HANNA-BRUNETTI
 NO. 00278
 REG. STATE OF CALIF.

DATE:	MAY 21, 2021
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TW
CHECK:	XX
ENGR:	AM
PROJECT NO.:	20053

TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
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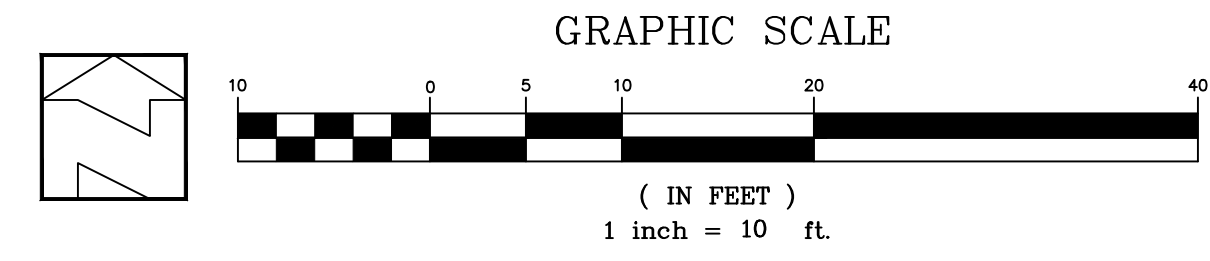
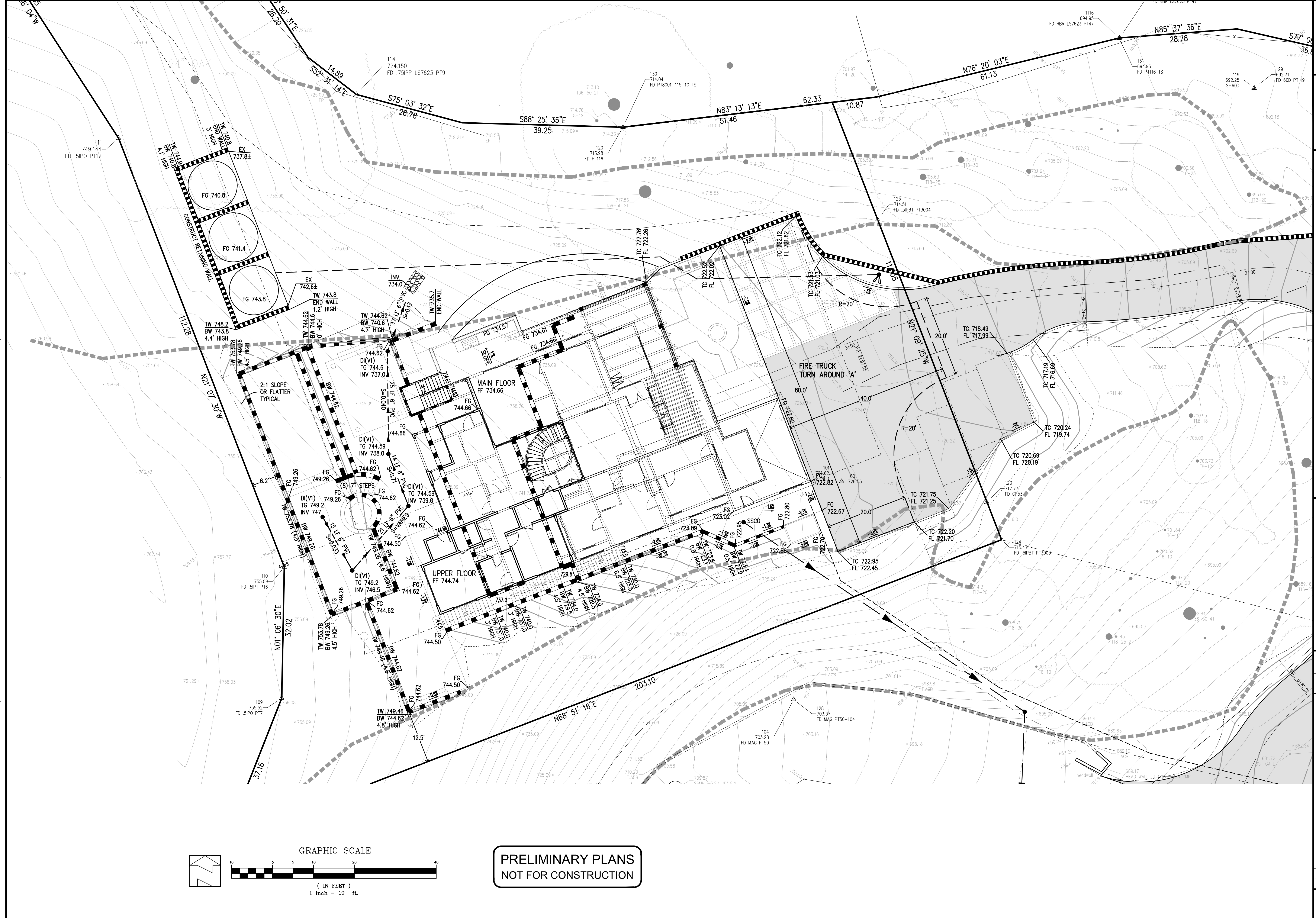
DATE	BY	REVISIONS

SHEET 5 OF 7

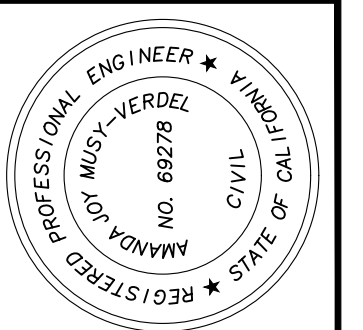
REV.: DEC 2015

HB JOB NO. 20053

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**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



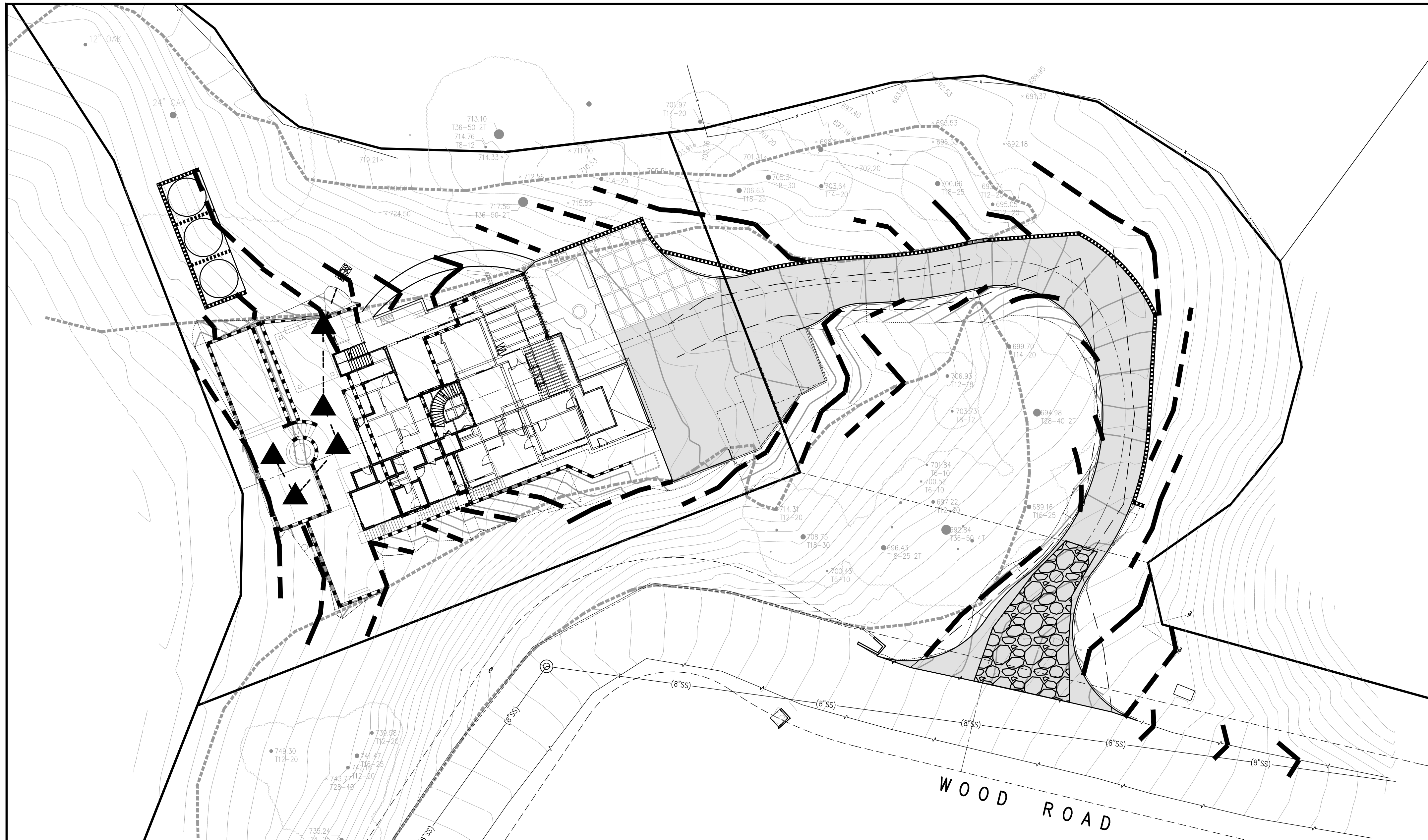
DATE	MAY 21, 2021
SCALE	1"=10'
DESIGN	AM
DRAWN	TW
CHECK	XX
ENGR.	AM
PROJECT NO.	20053

LANDS OF BOUKNIGHT - 145 WOOD ROAD
APN 510-47-045
GRADING & DRAINAGE PLAN
ARCHITECTURE AND SITE APPLICATION NO. 5-21-003
PARIS AND PUBLIC WORKS DEPARTMENT
TOWN OF LOS GATOS

HANNA BRUNETTI
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EROSION CONTROL NOTES

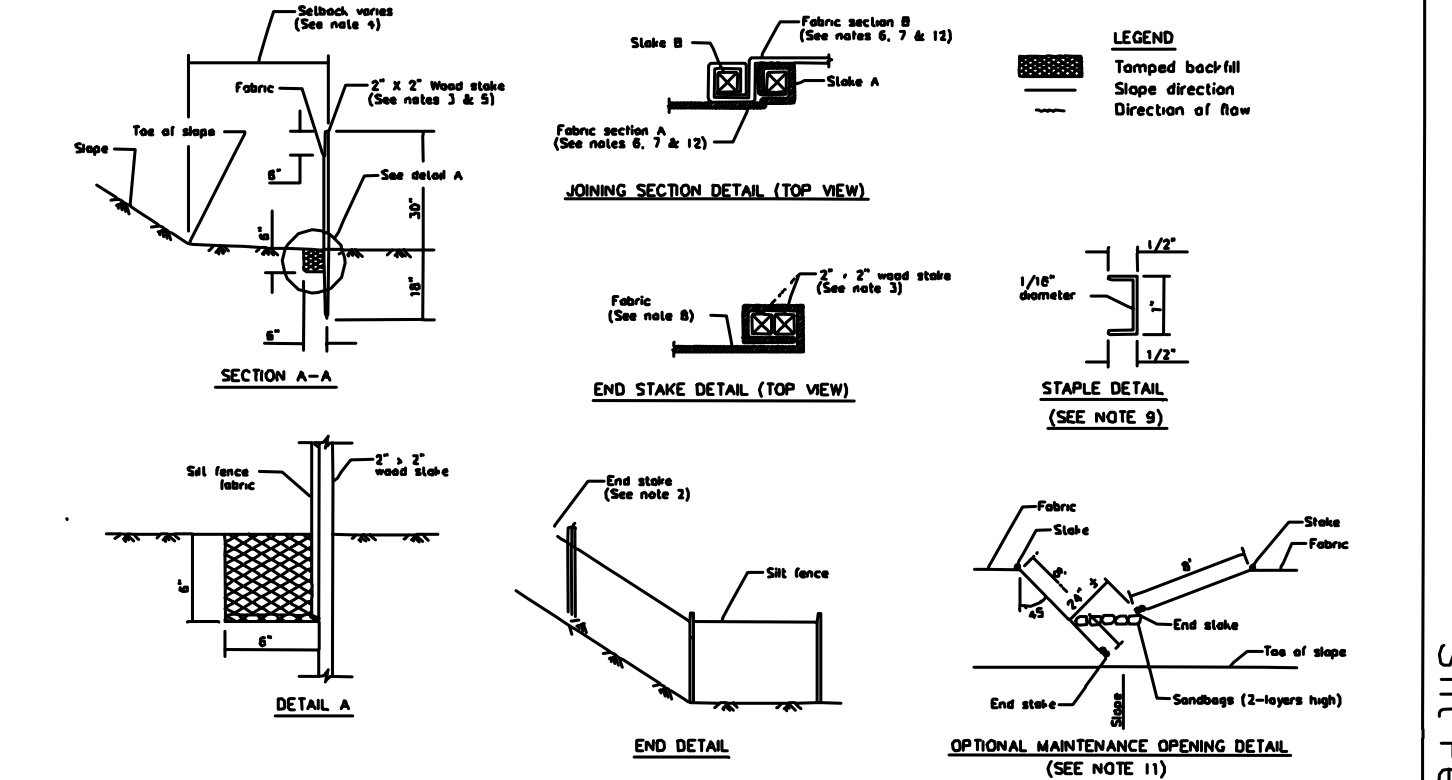
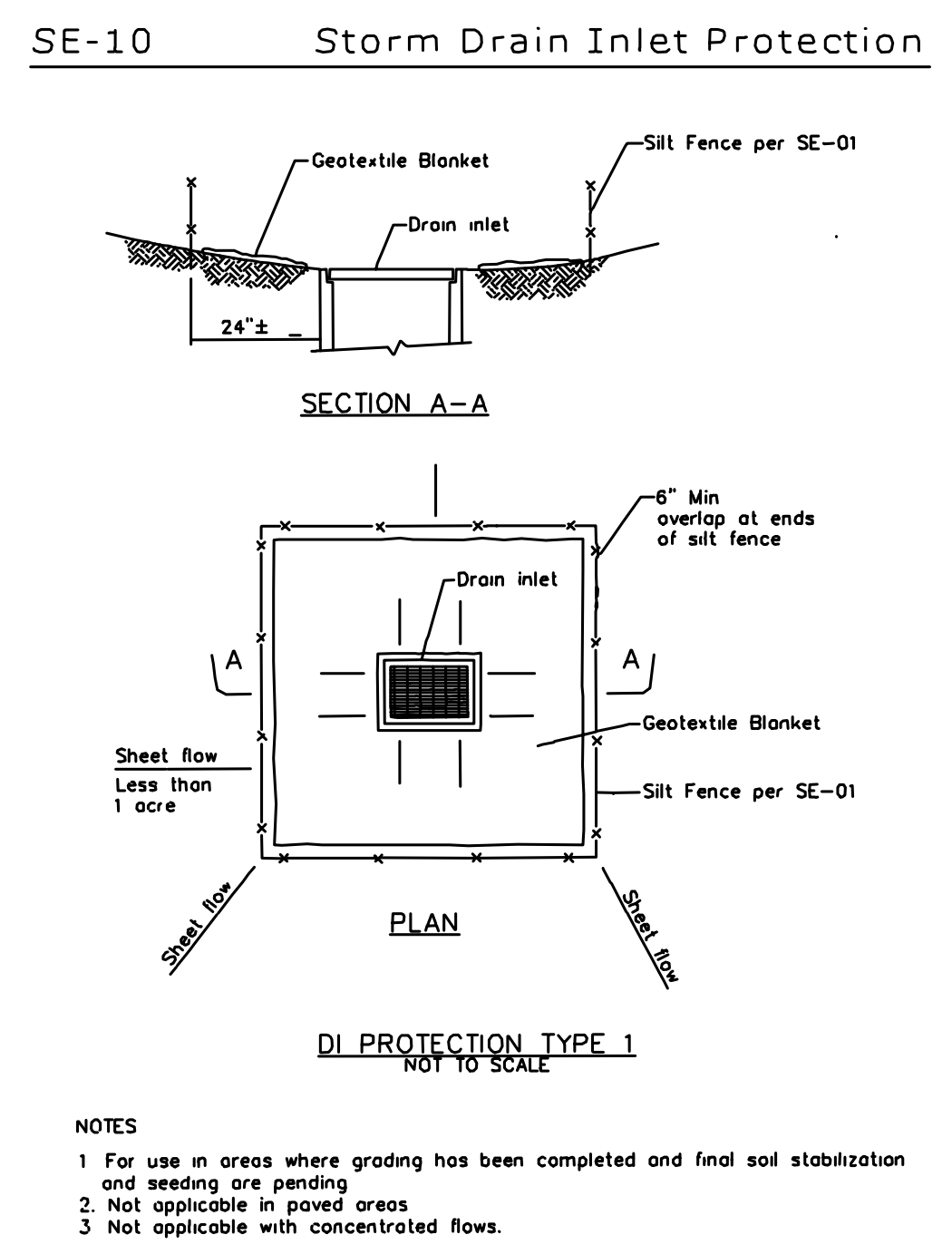
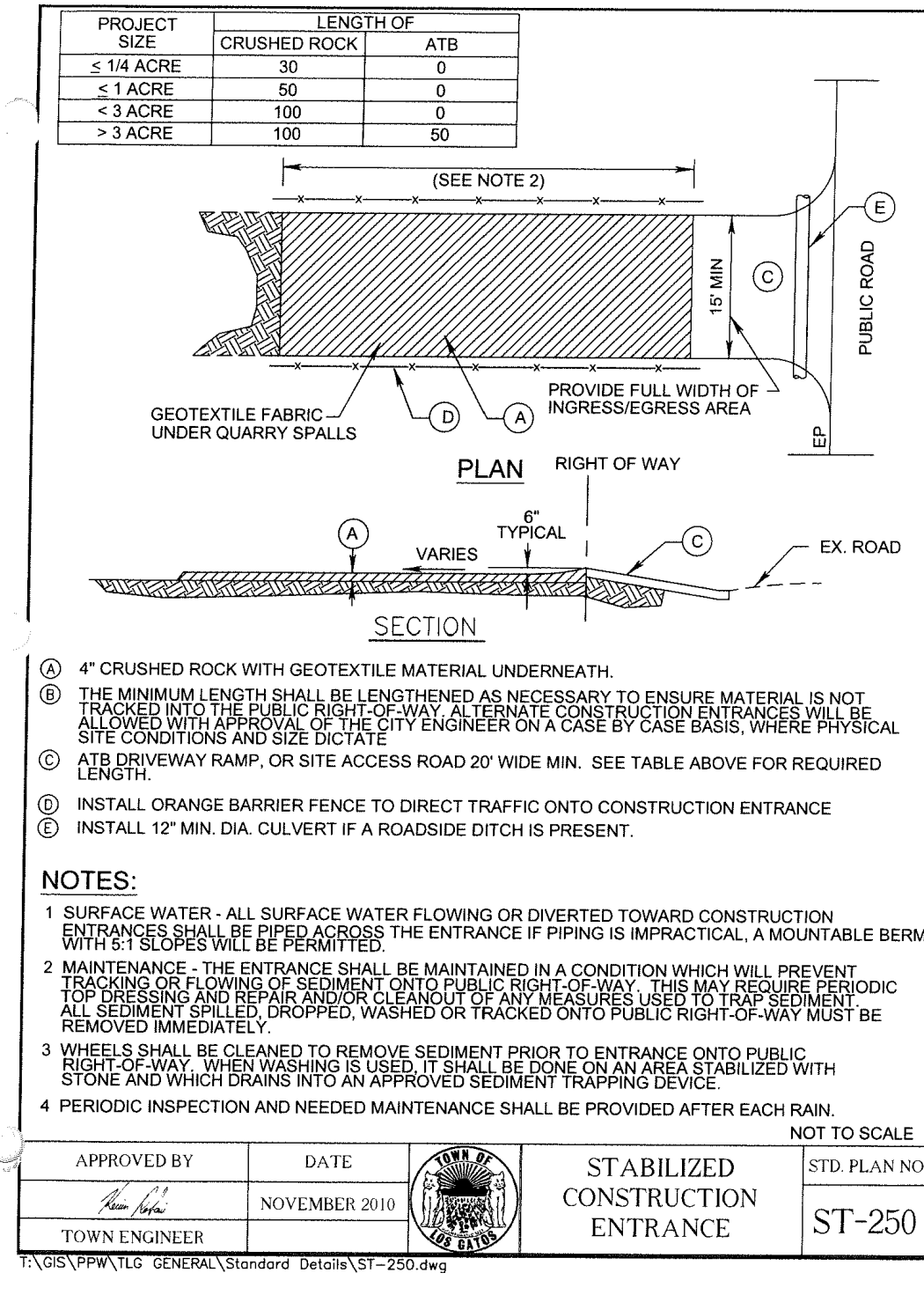
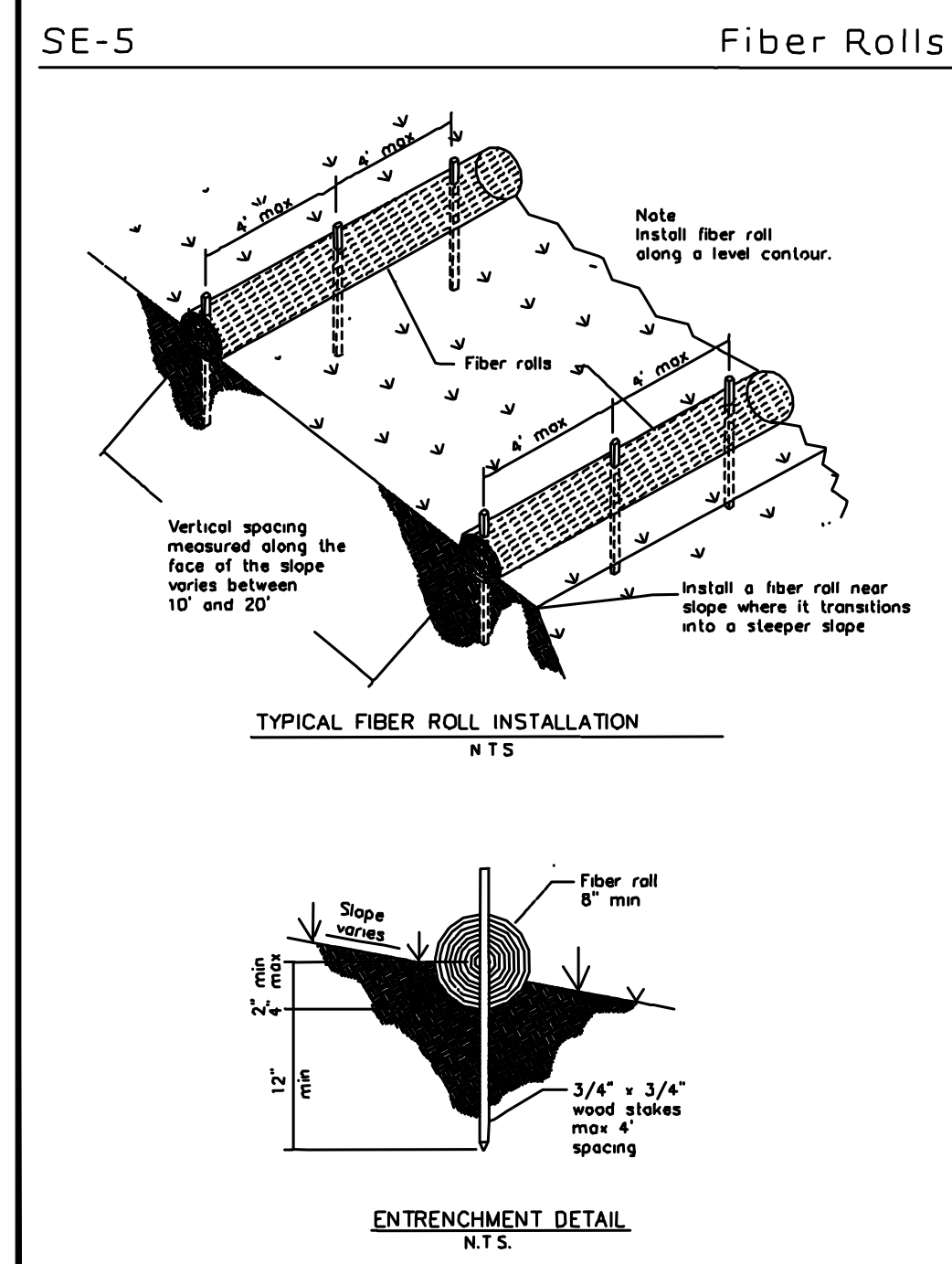
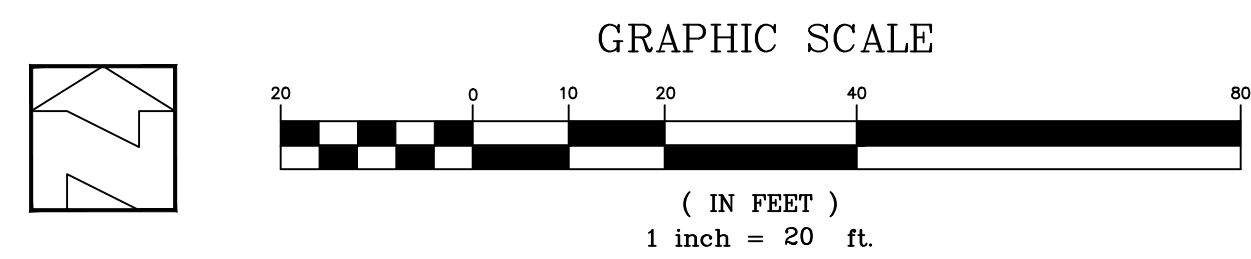
1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR AND FREE OF SILTS.
3. A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF, THE USD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
13. IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

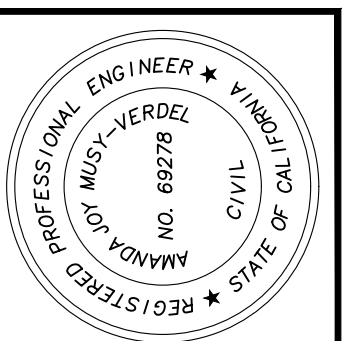
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

LEGEND

- CONSTRUCTION ENTRANCE/EXIT PER DETAIL ST-250
- FIBER ROLL BARRIER PER DETAIL SE-5
- STORM DRAIN INLET PROTECTION PER DETAIL SE-10
- SILT FENCE BARRIER PER DETAIL SE-1 AROUND PERIMETER OF PROJECT SITE



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

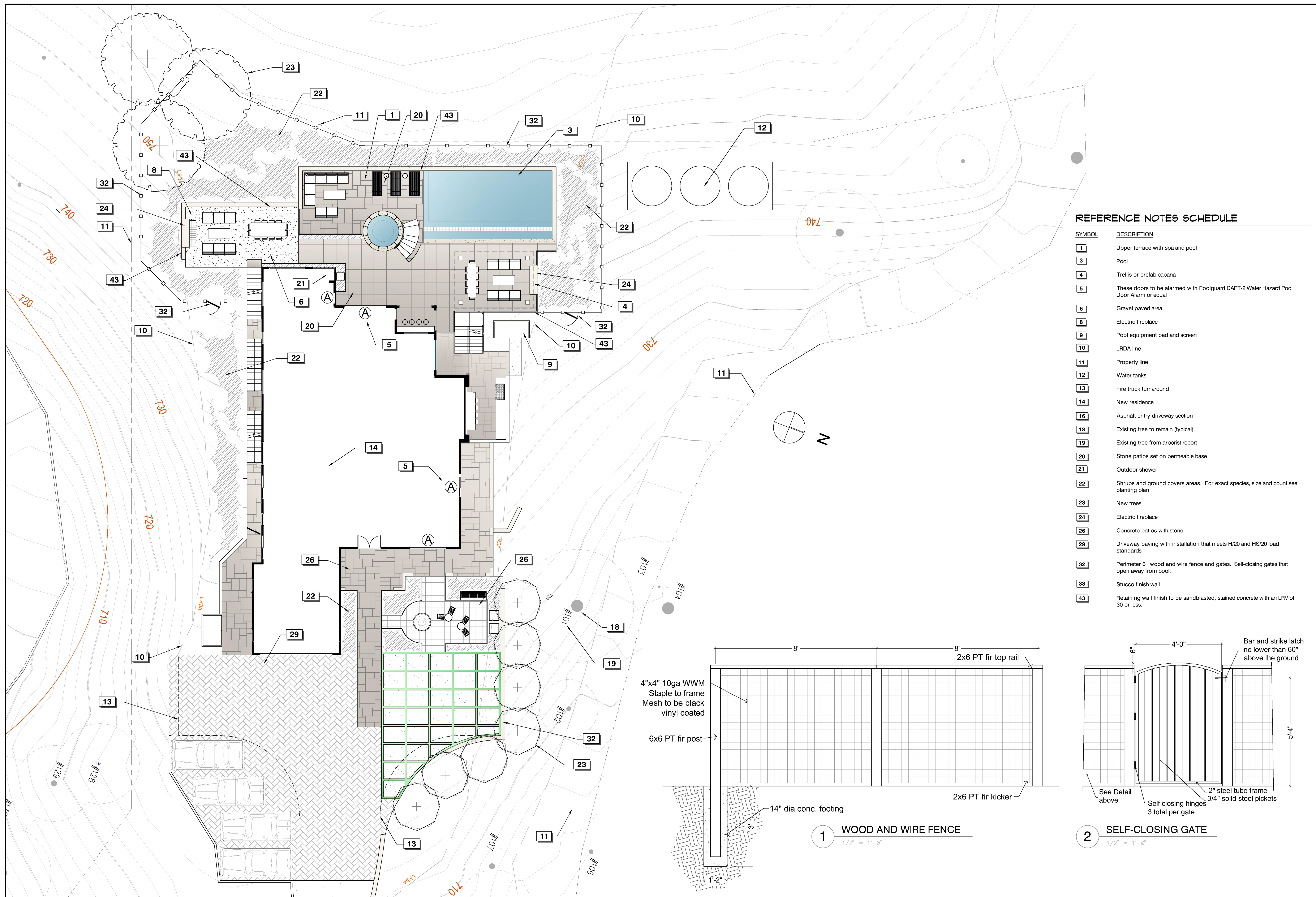


DATE: MAY 21, 2021
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PROJECT NO.: 20053

PLAN FOR THE IMPROVEMENT OF
LANDS OF BOUKNIGHT - 145 WOOD ROAD
APN 510-47-045
EROSION CONTROL PLAN
ARCHITECTURE AND SITE APPLICATION NO. S-21-003
TOWN OF LOS GATOS
PARIS AND PUBLIC WORKS DEPARTMENT

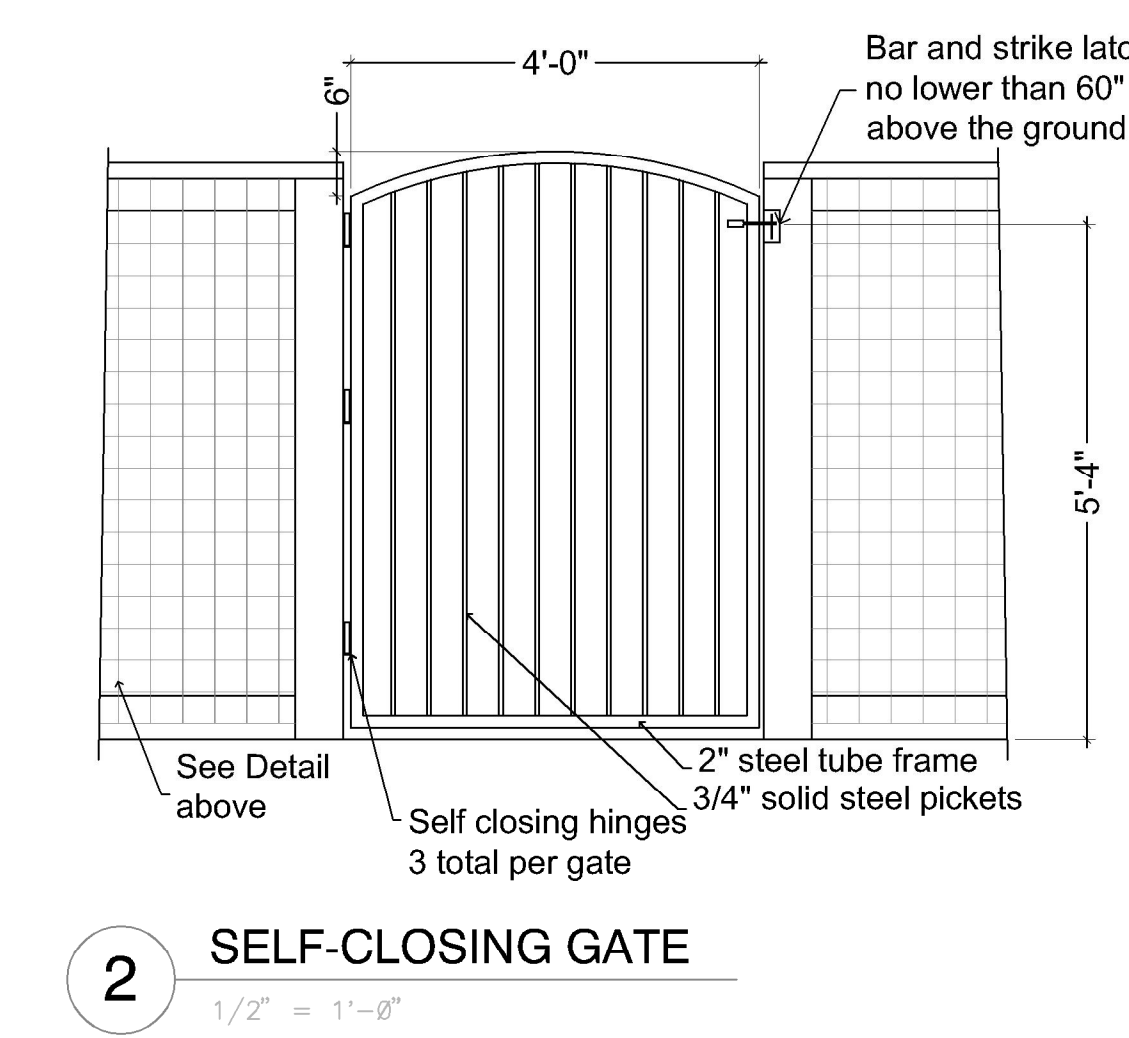
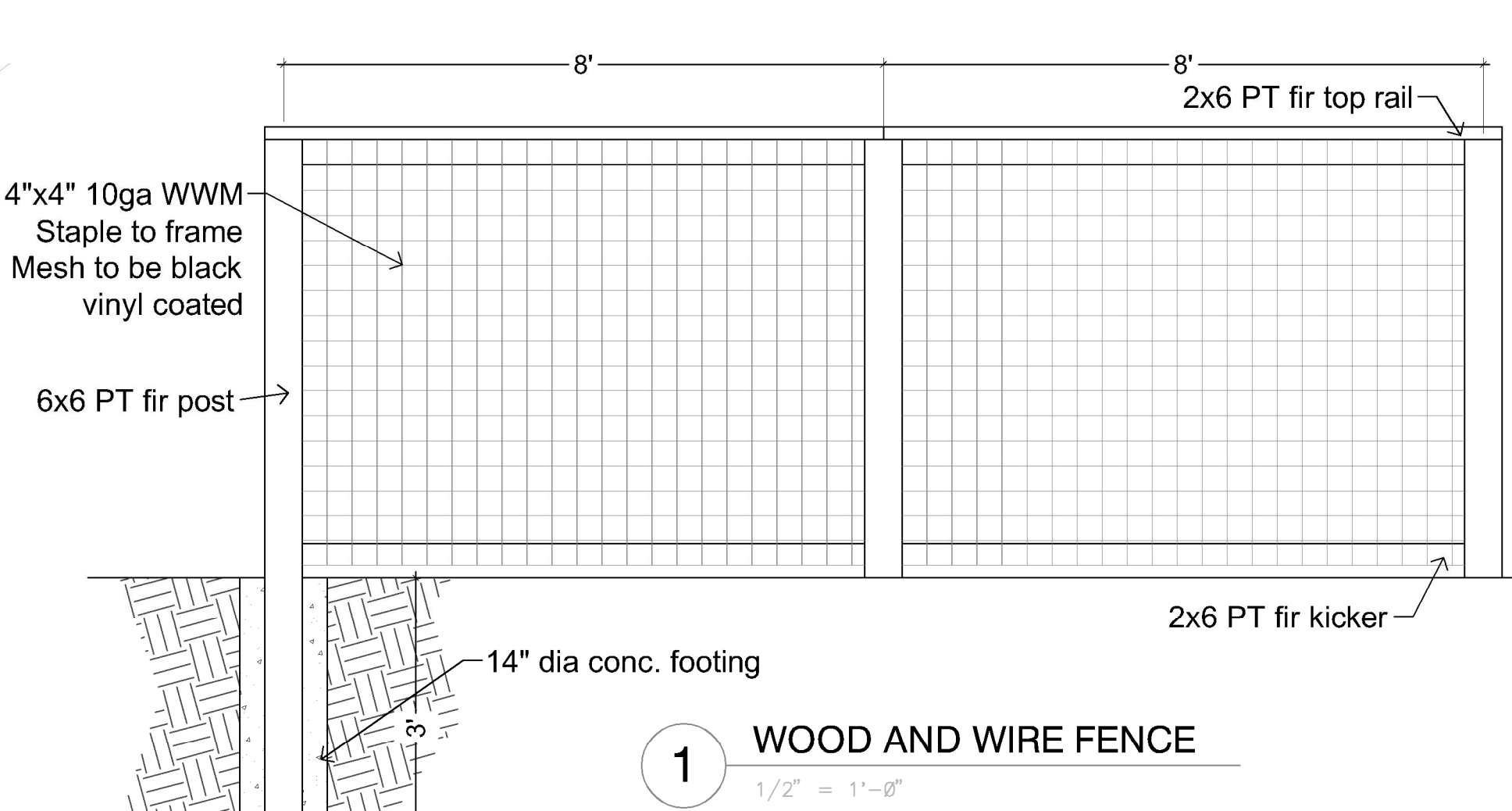
HANNA BRUNETTI
REGISTERED PROFESSIONAL ENGINEER
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REVISIONS	DATE	BY



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Upper terrace with spa and pool
3	Pool
4	Trellis or prefab cabana
5	These doors to be alarmed with Poolguard DAPT-2 Water Hazard Pool Door Alarm or equal
6	Gravel paved area
8	Electric fireplace
9	Pool equipment pad and screen
10	LRDA line
11	Property line
12	Water tanks
13	Fire truck turnaround
14	New residence
16	Asphalt entry driveway section
18	Existing tree to remain (typical)
19	Existing tree from arborist report
20	Stone patios set on permeable base
21	Outdoor shower
22	Shrubs and ground covers areas. For exact species, size and count see planting plan
23	New trees
24	Electric fireplace
26	Concrete patios with stone
29	Driveway paving with installation that meets H/20 and HS/20 load standards
32	Perimeter 6" wood and wire fence and gates. Self-closing gates that open away from pool.
33	Stucco finish wall
43	Retaining wall finish to be sandblasted, stained concrete with an LRV of 30 or less.



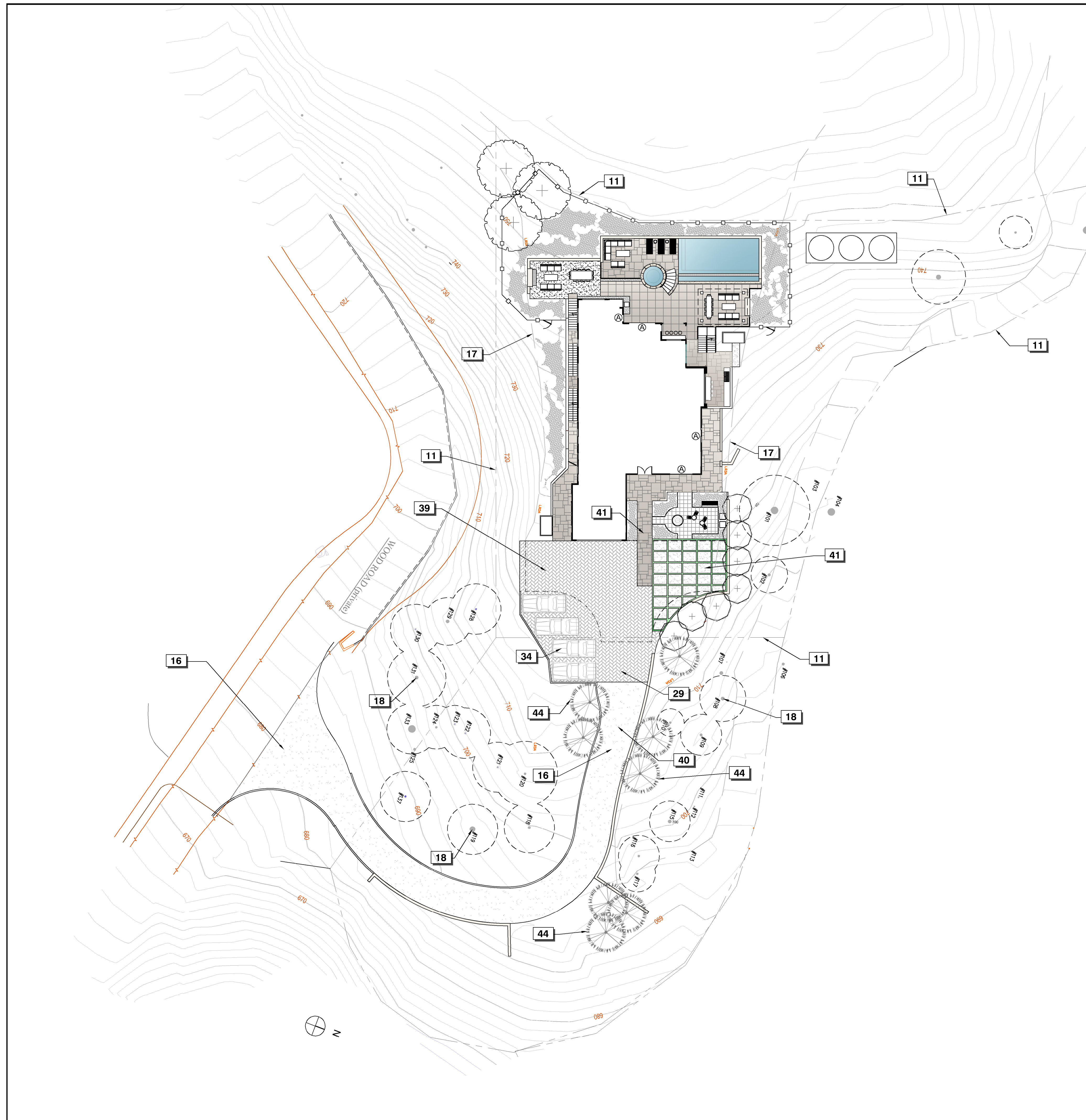
REVISIONS	BY

David R. Fox & Company Landscape Architecture
1189 Kolbenberg Avenue San Jose, CA 95128
408-761-0212 phone david@foxla.net

Preliminary Landscape Plan

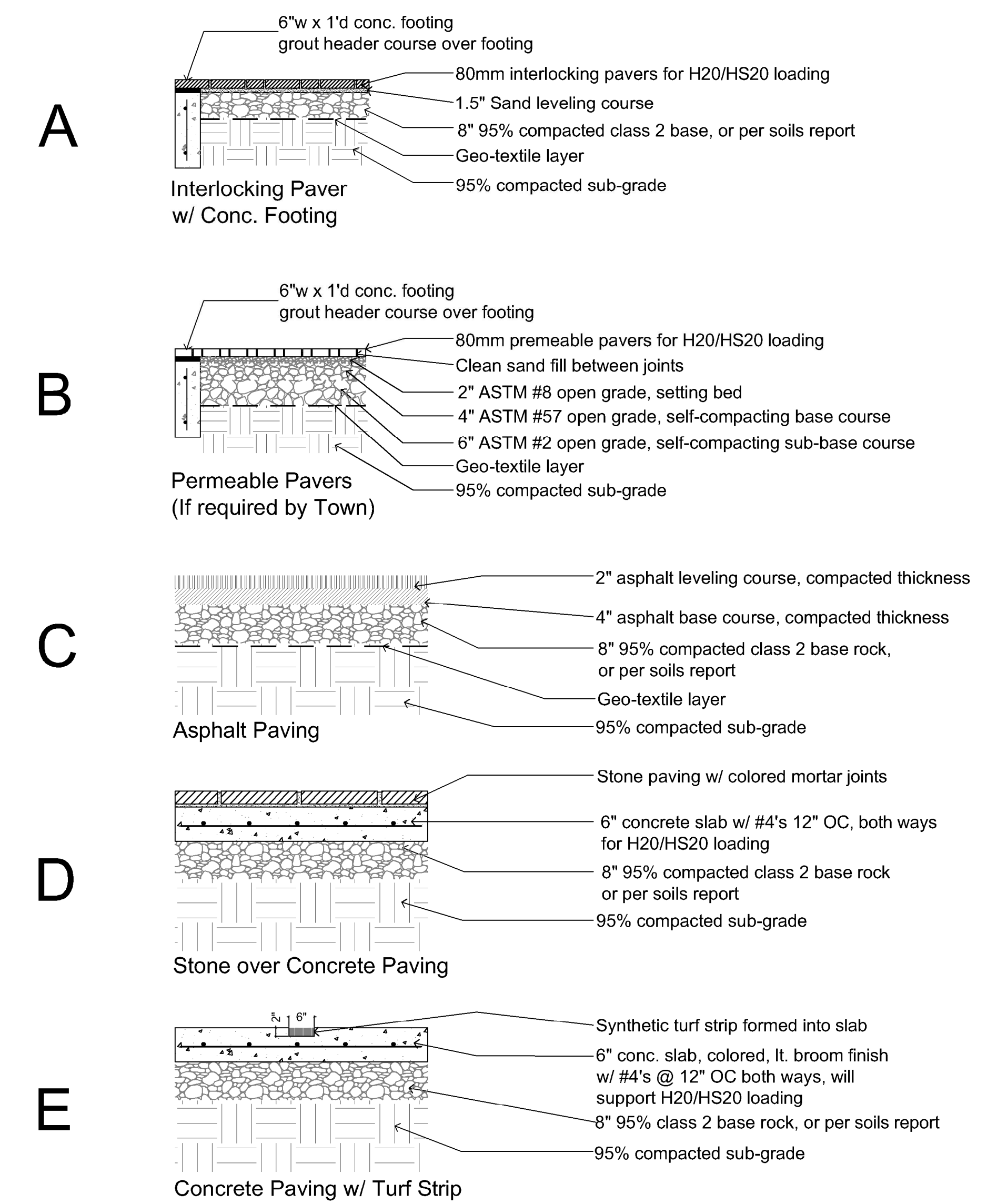
The Booknight Residence
145 Wood Road
Los Gatos, California

Date 4-12-21
Scale 1"=10'-0"
Drawn DRF/MCF
Job Booknight
Sheet
L1.0
Of Sheets



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
11	Property line
16	Asphalt entry driveway section
17	LRDA line
18	Existing tree to remain (typical)
29	Driveway paving with installation that meets H20 and HS/20 load standards
34	4 Parking spaces outside of fire truck turnaround
39	Paving A
40	Paving C
41	Paving D
44	New 60" box Sequoia Sempervirens - Redwood to be planted as shown



1 Paving Sections
L1.1

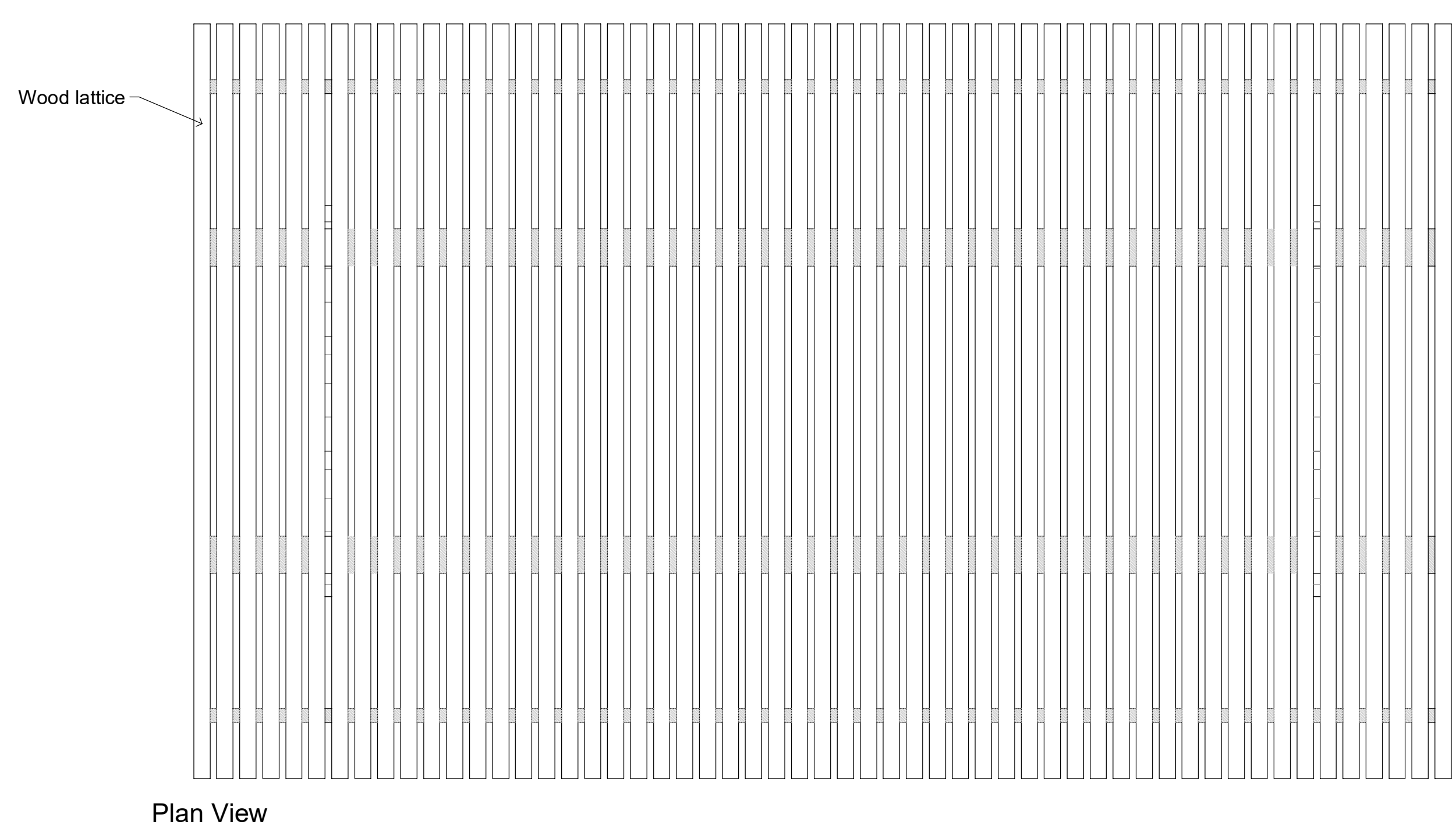
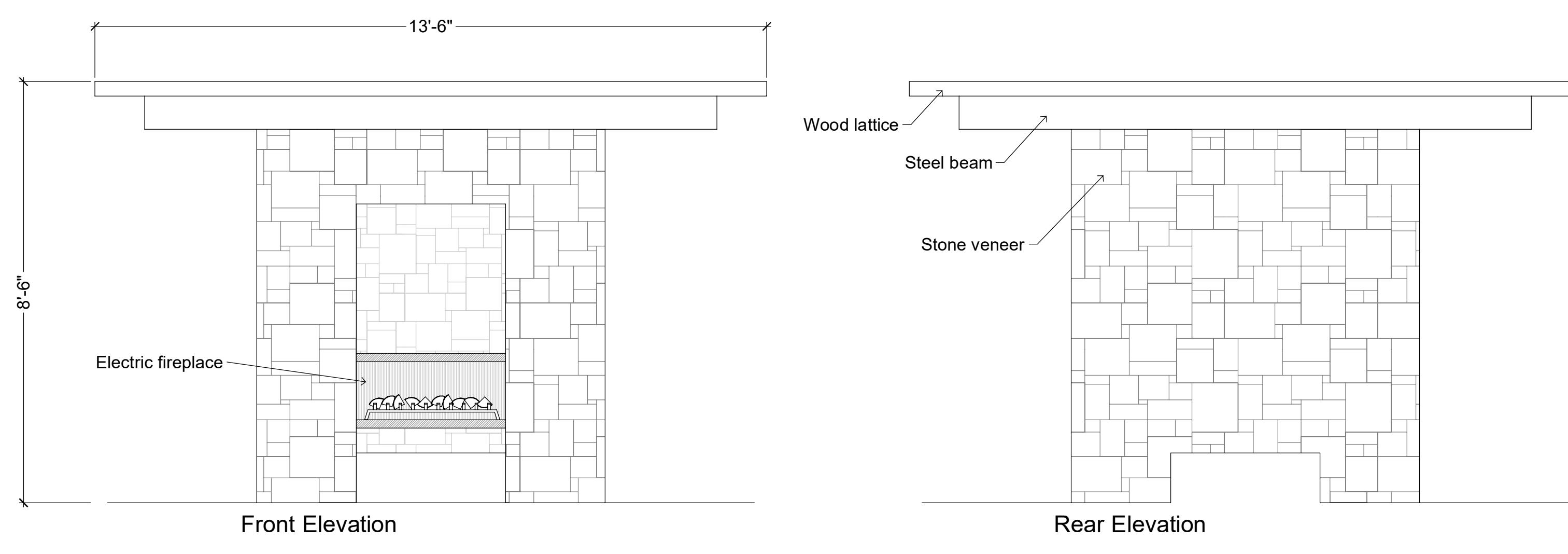
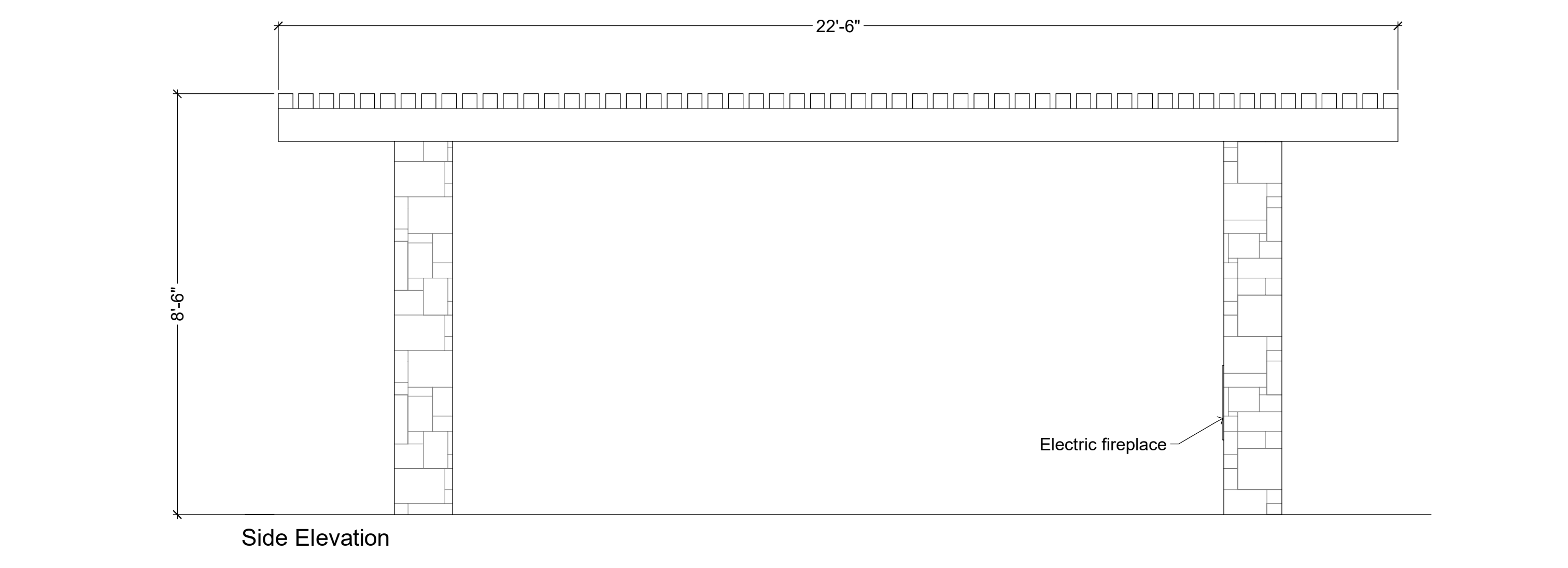
REVISIONS	BY

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408-761-0212 phone david@foxla.net

Preliminary
Landscape Plan
Full Site

The Bouknight Residence
145 Wood Road
Los Gatos
California

Date 4-12-21
Scale 1"=20'-0"
Drawn DRF/MCF
Job Booknight
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1
L1.1
Of Sheets



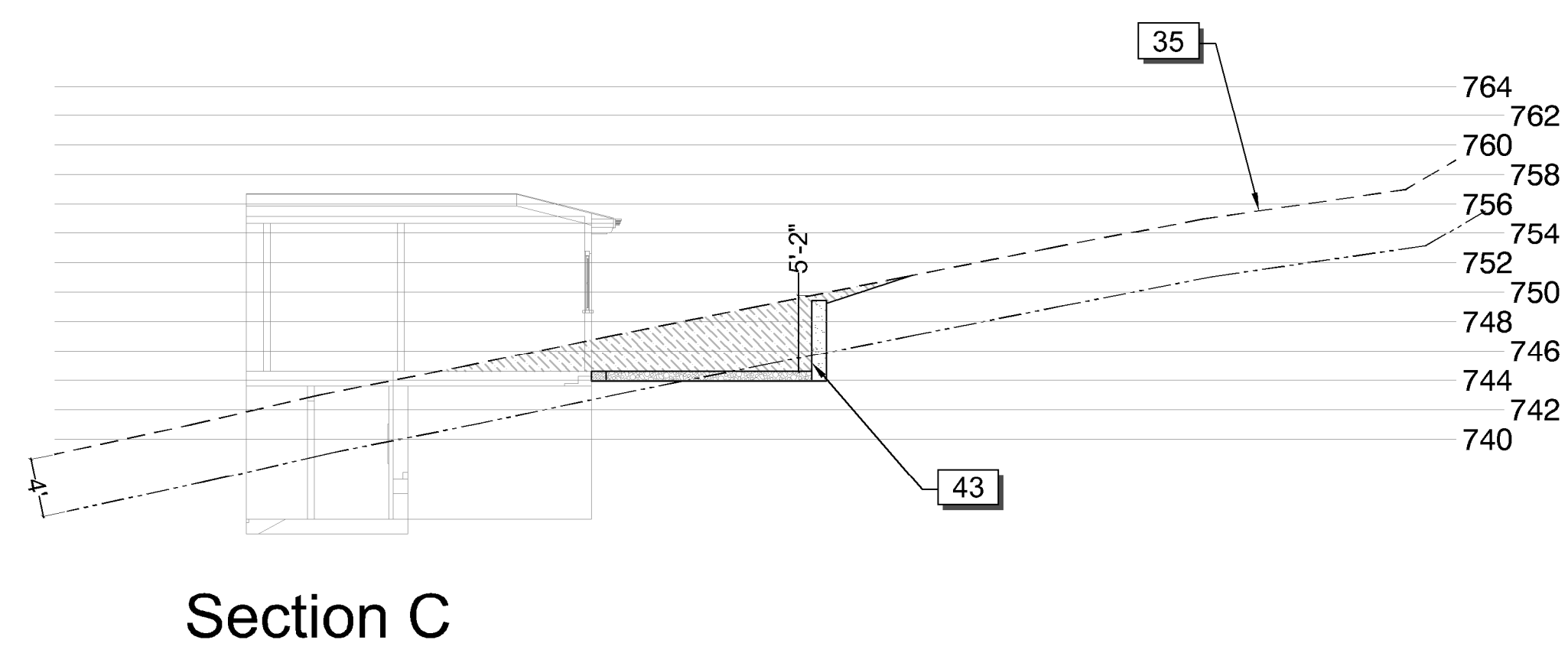
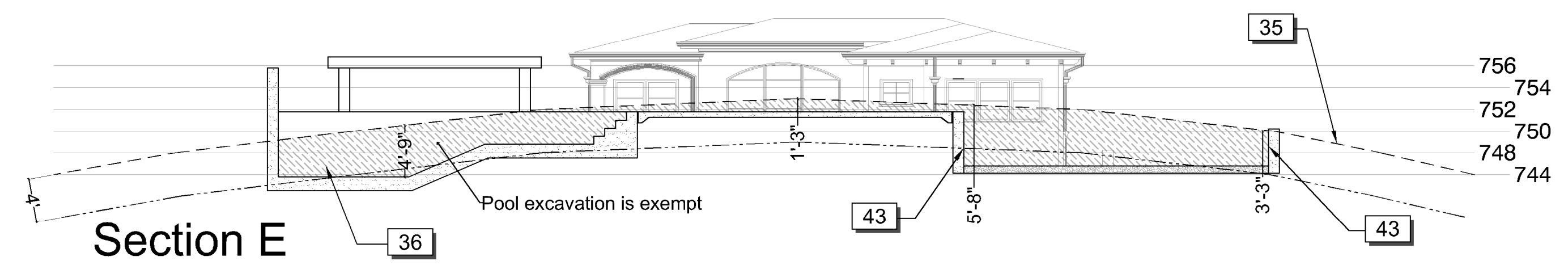
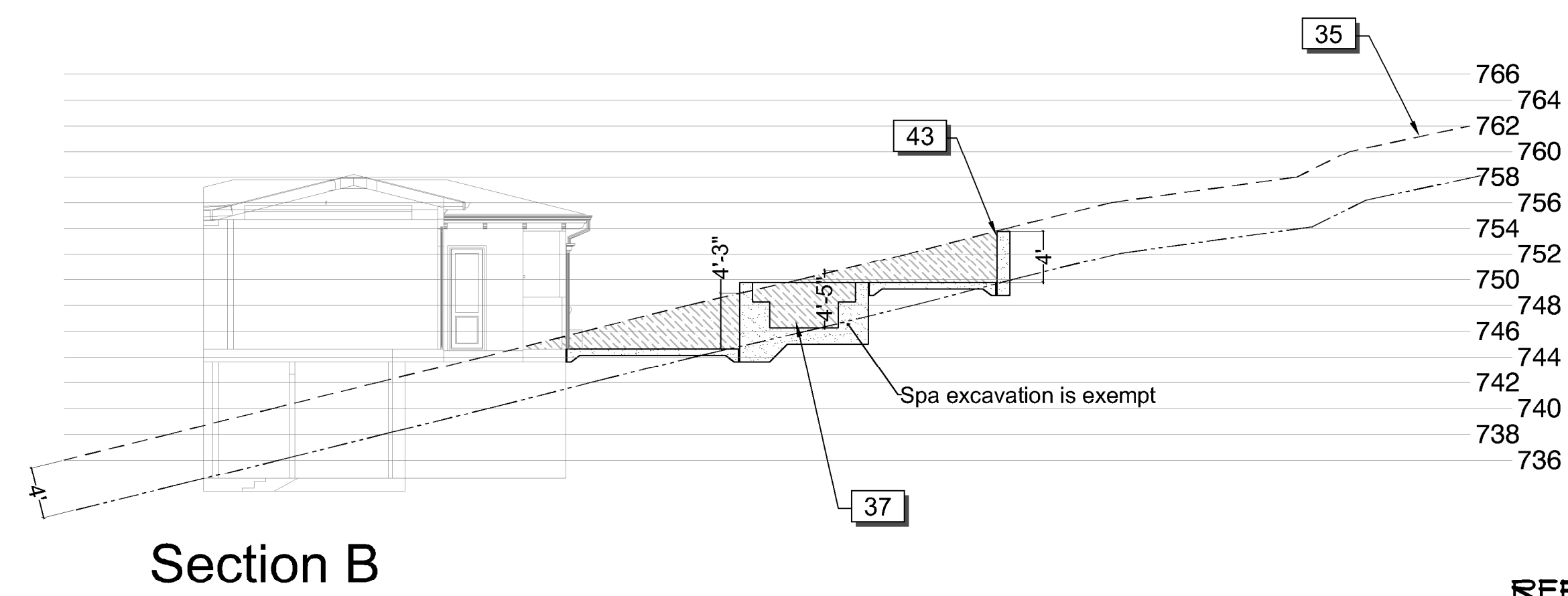
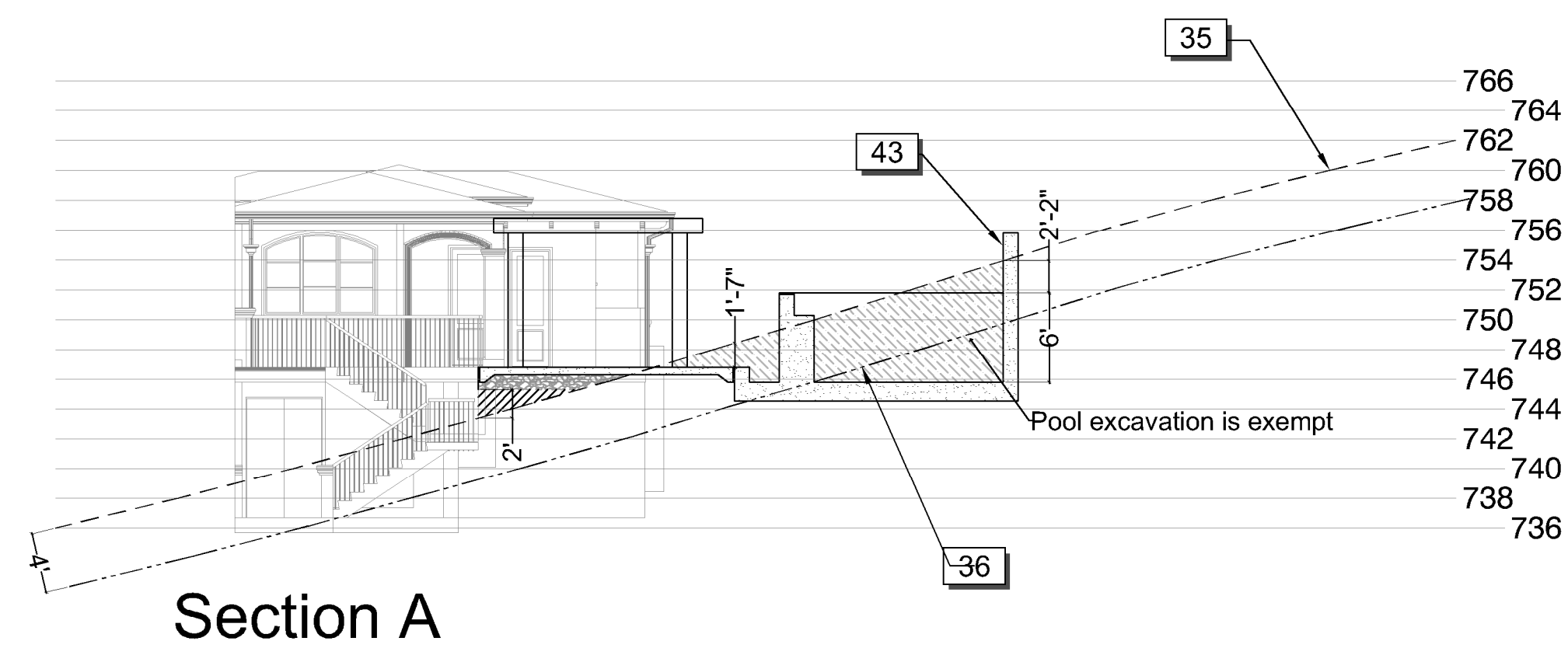
REVISIONS	BY

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Proposed Trellis Structure

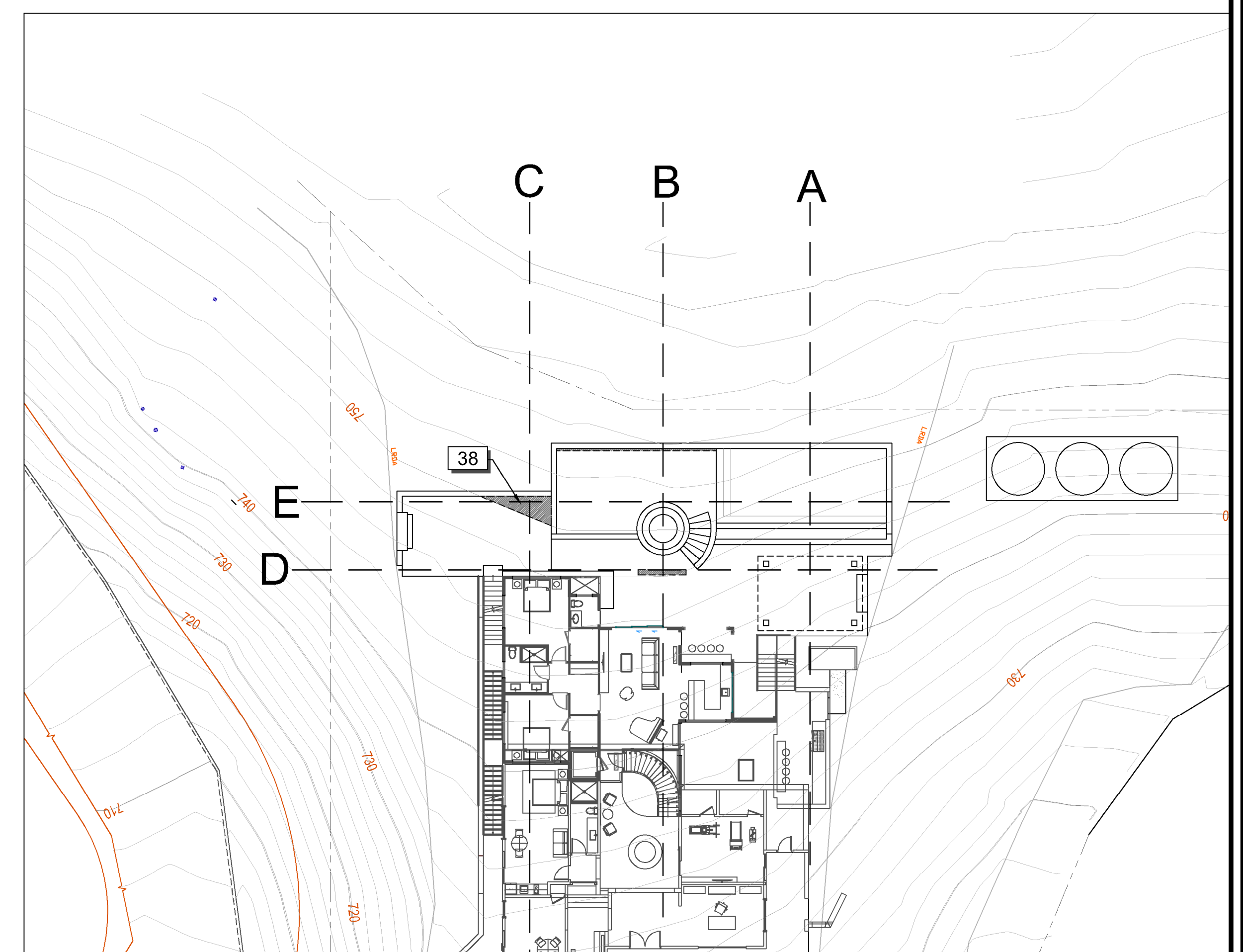
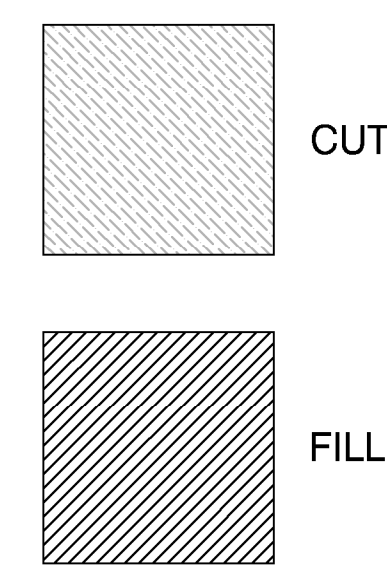
The Bouknight Residence
 145 Wood Road
 Los Gatos, California

Date 4-12-21
 Scale 1"=2'-0"
 Drawn DRF/MCF
 Job Bouknight
 Sheet
L1.2
 Of . . . Sheets



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
35	Existing grade line
36	Pool
37	Spa
38	Areas of cut greater than 4'
43	Retaining wall finish to be sandblasted, stained concrete with an LRV of 30 or less.



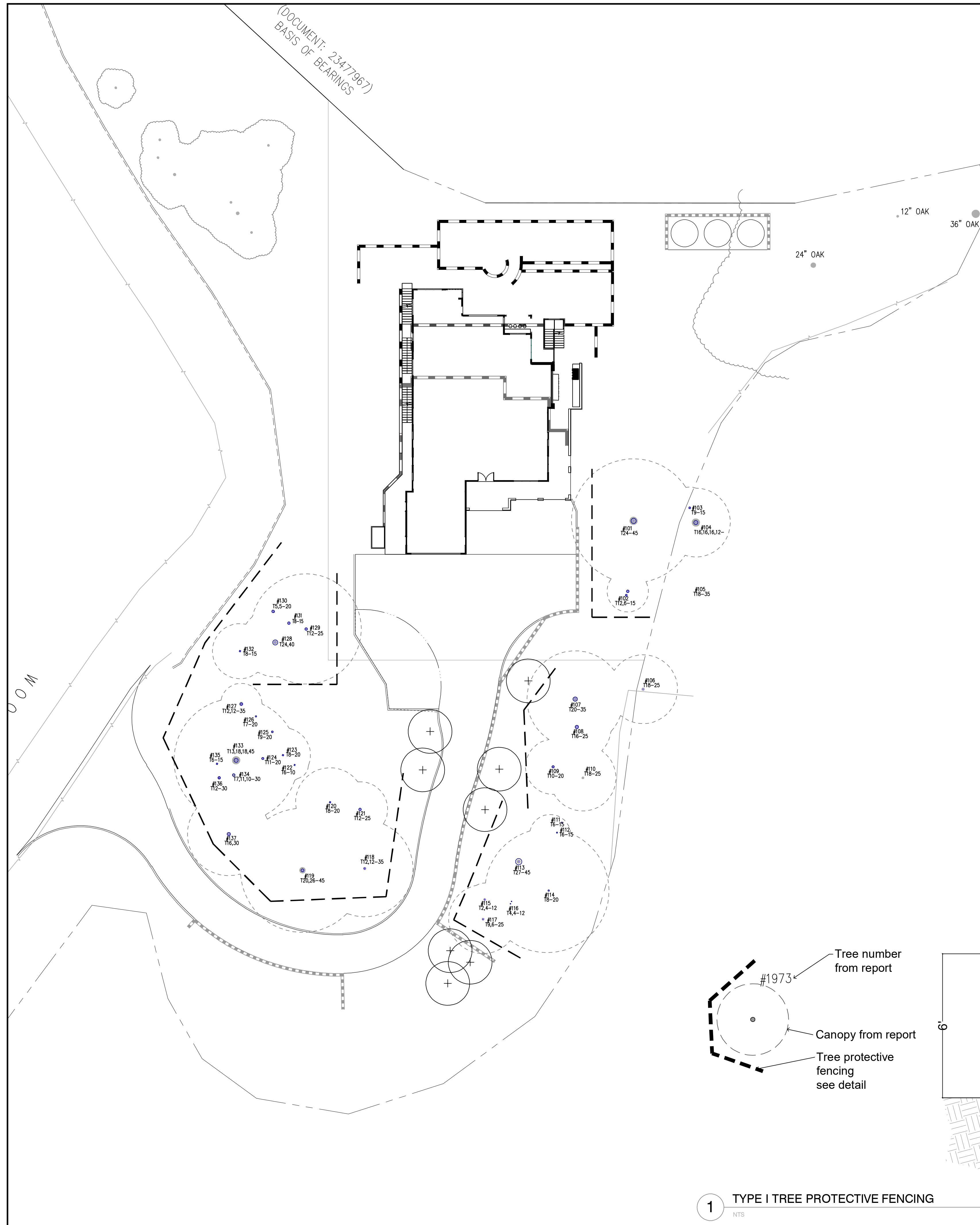
REVISIONS	BY

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Sections

The Bouknight Residence
 145 Wood Road
 Los Gatos, California

Date: 4-12-21
 Scale: 1"=10'-0"
 Drawn: DRF/MCF
 Job: Bouknight
 Sheet:
L2.0
 Of: Sheets



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Existing tree from arborist report
3	Existing tree to remain (typical)
4	Tree to be removed (typical)
5	Tree canopy from arborist report
8	Fire truck turnaround
10	New residence
11	Proposed pool and spa
12	Proposed play area
14	Stone patios set on permeable base
15	Proposed tree protection fencing Type 1
29	Driveway paving with installation that meets H/20 and HS/20 load standards
30	Driveway to garage
49	This section of path to be deferred until tree fencing can be removed

Tree Protection Zones and Fence Specifications

1. Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.

2. Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

3. Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

4. Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

All persons, shall comply with the following precautions

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.

2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.

3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.

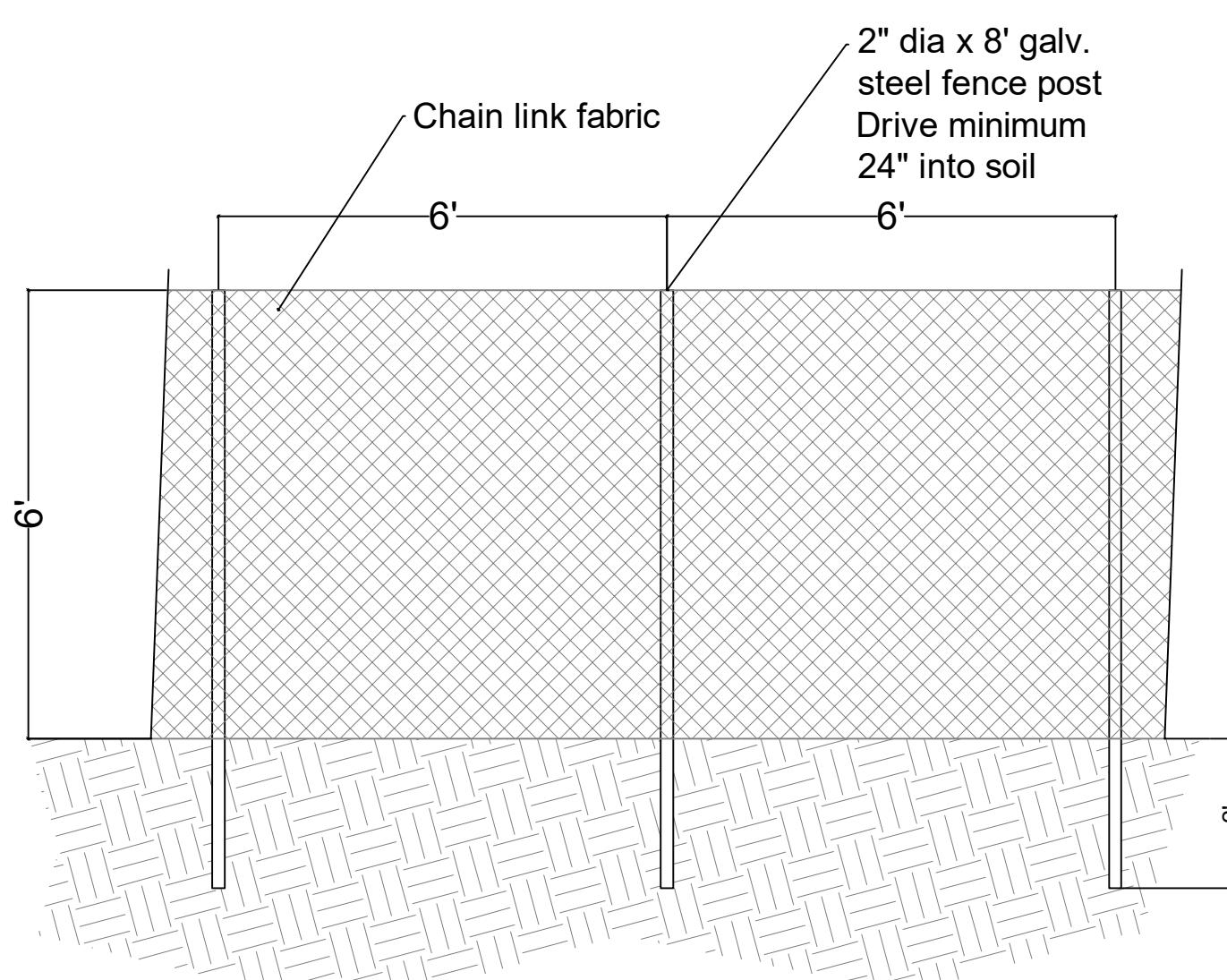
4. Prohibit the attachment of wires, signs or ropes to any protected tree.

5. Design utility services and irrigation lines to be located outside of the dripline when feasible.

6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.

7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

+ New 60" box Sequoia Sempervirens - Redwood to be planted as shown



1 TYPE I TREE PROTECTIVE FENCING
NTS

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Suitability	Expected Impact
valley oak (<i>Quercus agrifolia</i>)	101	24	45	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	102	12, 6	15	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	103	9	15	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	104	16, 16, 16, 12		Fair/50%	Fair	Low
coast live oak (<i>Quercus agrifolia</i>)	105	18	35	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	106	18	25	Fair/50%	Fair	Low
coast live oak (<i>Quercus agrifolia</i>)	107	20	35	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	108	16	25	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	109	10	20	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	110	18	25	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	111	6	15	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	112	6	15	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	113	27	45	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	114	8	20	Good/70%	Good	Low
coast live oak (<i>Quercus agrifolia</i>)	115	2.4	12	Fair/	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	116	4, 4 multi	12	Fair/	Fair	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	117	9, 6	25	Fair/	Fair	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	118	12, 12	35	Fair/	Fair	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	119	20, 26	45	Fair/	Fair	Low
coast live oak (<i>Quercus agrifolia</i>)	120	8	20	Good/70%	Good	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	121	12	25	Good/70%	Good	Moderate-High
bay laurel (<i>Umbellularia californica</i>)	122	6	10	Good/70%	Good	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	123	8	20	Good/70%	Good	Moderate-High
bay laurel (<i>Umbellularia californica</i>)	124	11	20	Good/70%	Good	Moderate-High
bay laurel (<i>Umbellularia californica</i>)	125	9	20	Good/70%	Good	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	126	7	20	Fair/50%	Fair	Moderate-High
coast live oak (<i>Quercus agrifolia</i>)	127	12, 12	35	Fair/50%	Fair	Low
valley oak (<i>Quercus agrifolia</i>)	128	24	40	Fair/50%	Fair	Low
coast live oak (<i>Quercus agrifolia</i>)	129	12	25	Good/70%	Good	Low
bay laurel (<i>Umbellularia californica</i>)	130	5, 5	20	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	131	8	15	Good/70%	Good	Low
bay laurel (<i>Umbellularia californica</i>)	132	8	15	Poor/15	Poor	Low
coast live oak (<i>Quercus agrifolia</i>)	133	13, 18, 18	45	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	134	7, 11, 10	30	Fair/50%	Fair	Low
bay laurel (<i>Umbellularia californica</i>)	135	6	15	Good/70%	Good	Low
bay laurel (<i>Umbellularia californica</i>)	136	12	30	Fair/50%	Fair	Low
coast live oak (<i>Quercus agrifolia</i>)	137	16	30	Fair/50%	Fair	Low

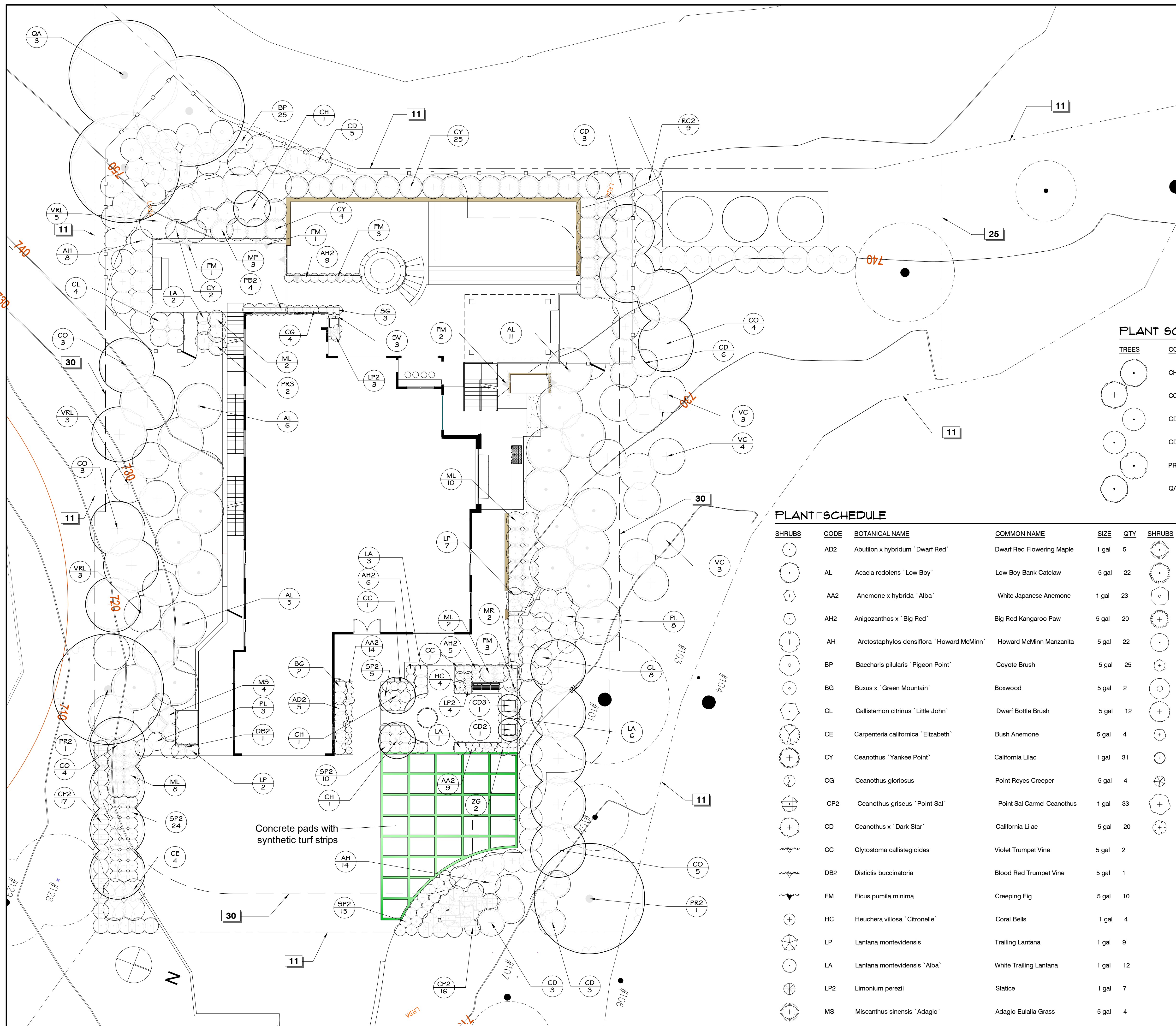
REVISIONS BY

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dfox@dcas.net

Tree Plan

The Bouknight Residence
145 Wood Road
Los Gatos, California

Date: 11/26/20
Scale: 1"=20'-0"
Drawn: DRF/MCF
Job: Bouknight
Sheet: L3.0
Of: 4 Sheets



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
11	Property line
25	Line of Zone 3: 100' defensible zone
30	30' Ornamental planting line and line of Zone 2: 30' defensible zone

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CH	Ceanothus x 'Ray Hartman'	Ray Hartman Wild Lilac	24" Box	3
	CO	Cercis occidentalis	Western Redbud Multi-trunk	24" Box	19
	CD2	Citrus x aurantiifolia 'Dwarf Bearss Seedless'	Dwarf Bearss Seedless Lime	15 gal	1
	CD3	Citrus x limon 'Dwarf Improved Meyer'	Dwarf Improved Meyer Lemon	15 gal	1
	PR2	Platanus racemosa	California Sycamore	24" box	2
	QA	Quercus agrifolia	Coast Live Oak	24" Box	3

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AD2	Abutilon x hybridum 'Dwarf Red'	Dwarf Red Flowering Maple	1 gal	5		ML	Miscanthus sinensis 'Little Kitten'	Little Kitten Eulalia Grass	1 gal	22
	AL	Acacia redolens 'Low Boy'	Low Boy Bank Catclaw	5 gal	22		MP	Miscanthus sinensis 'Purpureus'	Flame Eulalia Grass	5 gal	3
	AA2	Anemone x hybrida 'Alba'	White Japanese Anemone	1 gal	23		MR	Muhlenbergia rigens	Deer Grass	1 gal	2
	AH2	Anigozanthos x 'Big Red'	Big Red Kangaroo Paw	5 gal	20		PR3	Pennisetum rubrum	Red Fountain Grass	5 gal	2
	AH1	Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	5 gal	22		PL	Perovskia atriplicifolia 'Lacey Blue'	Russian Sage	5 gal	11
	BP	Baccharis pilularis 'Pigeon Point'	Coyote Brush	5 gal	25		PB2	Phormium tenax 'Bronze Baby'	Bronze Baby New Zealand Flax	1 gal	4
	BG	Buxus x 'Green Mountain'	Boxwood	5 gal	2		RC2	Rhamnus californica	California Coffee Berry	5 gal	9
	CL	Callistemon citrinus 'Little John'	Dwarf Bottle Brush	5 gal	12		VRL	Rosa banksiae 'Lutea'	Banksia Rose	5 gal	11
	CE	Carpenteria californica 'Elizabeth'	Bush Anemone	5 gal	4		SP2	Salvia 'Celestial Blue'	Santa Rosa Island Sage	1 gal	54
	CY	Ceanothus 'Yankee Point'	California Lilac	1 gal	31		SG	Sempervivum x 'Green Giant'	Hen-and-Chicks	1 gal	3
	CG	Ceanothus gloriosus	Point Reyes Creeper	5 gal	4		SV	Senecio vitalis	Blue Chaik Fingers	1 gal	3
	CP2	Ceanothus griseus 'Point Sal'	Point Sal Carmel Ceanothus	1 gal	33		VC	Vitis californica 'Roger's Red'	California Wild Grape	1 gal	10
	CD	Ceanothus x 'Dark Star'	California Lilac	5 gal	20		ZG	Zantedeschia aethiopica 'White Giant'	White Giant Calla Lily	1 gal	2
	CC	Clytostoma callistegioides	Violet Trumpet Vine	5 gal	2						
	DB2	Distictis buccinatoria	Blood Red Trumpet Vine	5 gal	1						
	FM	Ficus pumila minima	Creeping Fig	5 gal	10						
	HC	Heuchera villosa 'Citronelle'	Coral Bells	1 gal	4						
	LP	Lantana montevidensis	Trailing Lantana	1 gal	9						
	LA	Lantana montevidensis 'Alba'	White Trailing Lantana	1 gal	12						
	LP2	Limonium perezii	Statice	1 gal	7						
	MS	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	5 gal	4						

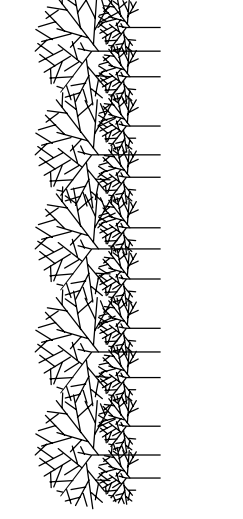
Note: This plant list is in conformance with low fuel varieties and the installation of the landscape shall comply with California Public Resources Code section 4291 numbers 1-6 and sections and California Government Code section 51882 numbers 1-6. Regular maintenance shall be performed by the homeowner as per cited code sections in this note. See calfire.ca.gov for information regarding creating defensible space.

Note: Trees to replace ordinance size trees that are to be removed will be placed as space allows. Required replacement trees that cannot be planted on site will be subject to the Town in-lieu fee. Total replacement trees on this plan - 19, 24" box trees.

Note: See sheets L.1.1 and L.3.0 for additional tree planting locations and type.

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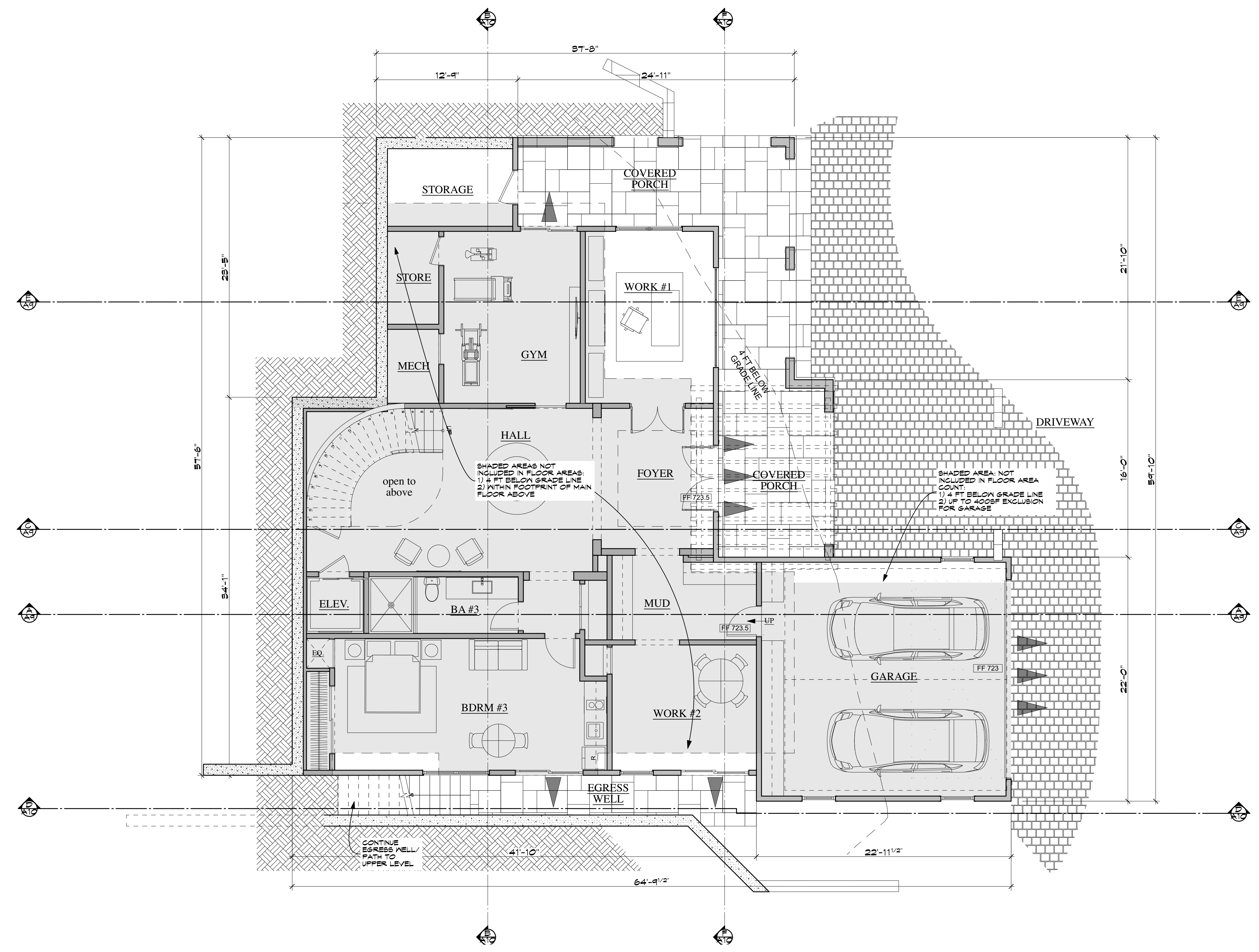
Planting Plan

The Bouknight Residence
 145 Wood Road
 Los Gatos, California

Date: 4-12-21
 Scale: 1"=10'-0"
 Drawn: DRF/MCF
 Job: Bouknight
 Sheet:
L4.0
 Of: Sheets

LEGEND

	WOOD STUD WALL
	CONCRETE REC. WALL
	PAVED OUTDOOR DECK / PATIOS
	PAVED YARD AREAS
	ROOF COVERING



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

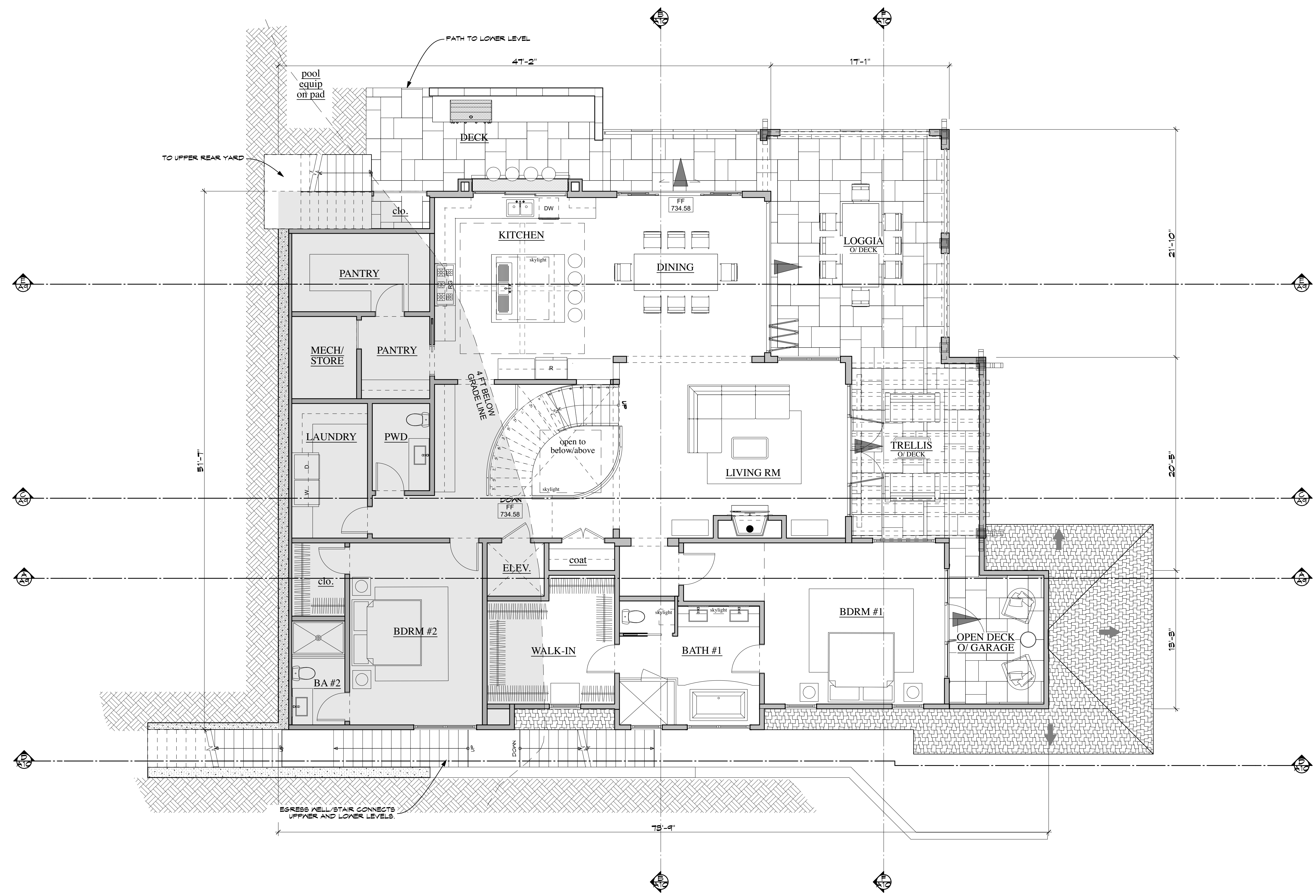
NOTE: Reader shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations shall be noted in writing to the Architect's attention prior to installation.

LOWER FLOOR PLAN

DATE: 1/25/21
SCALE: AS SHOWN

LEGEND

	WOOD STUD WALL
	CONCRETE REC. WALL
	PAVED OUTDOOR DECK / PATIOS
	PAVED YARD AREAS
	ROOF COVERING



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Reader shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations shall be noted in writing to the Architect's attention prior to installation.

MAIN FLOOR PLAN

DATE: 1/25/21
SCALE: AS SHOWN
SHEET
A4
OF -

REVISIONS	
Resubmit	4.17.21
Resubmit	5.26.21
Resubmit	8.13.21

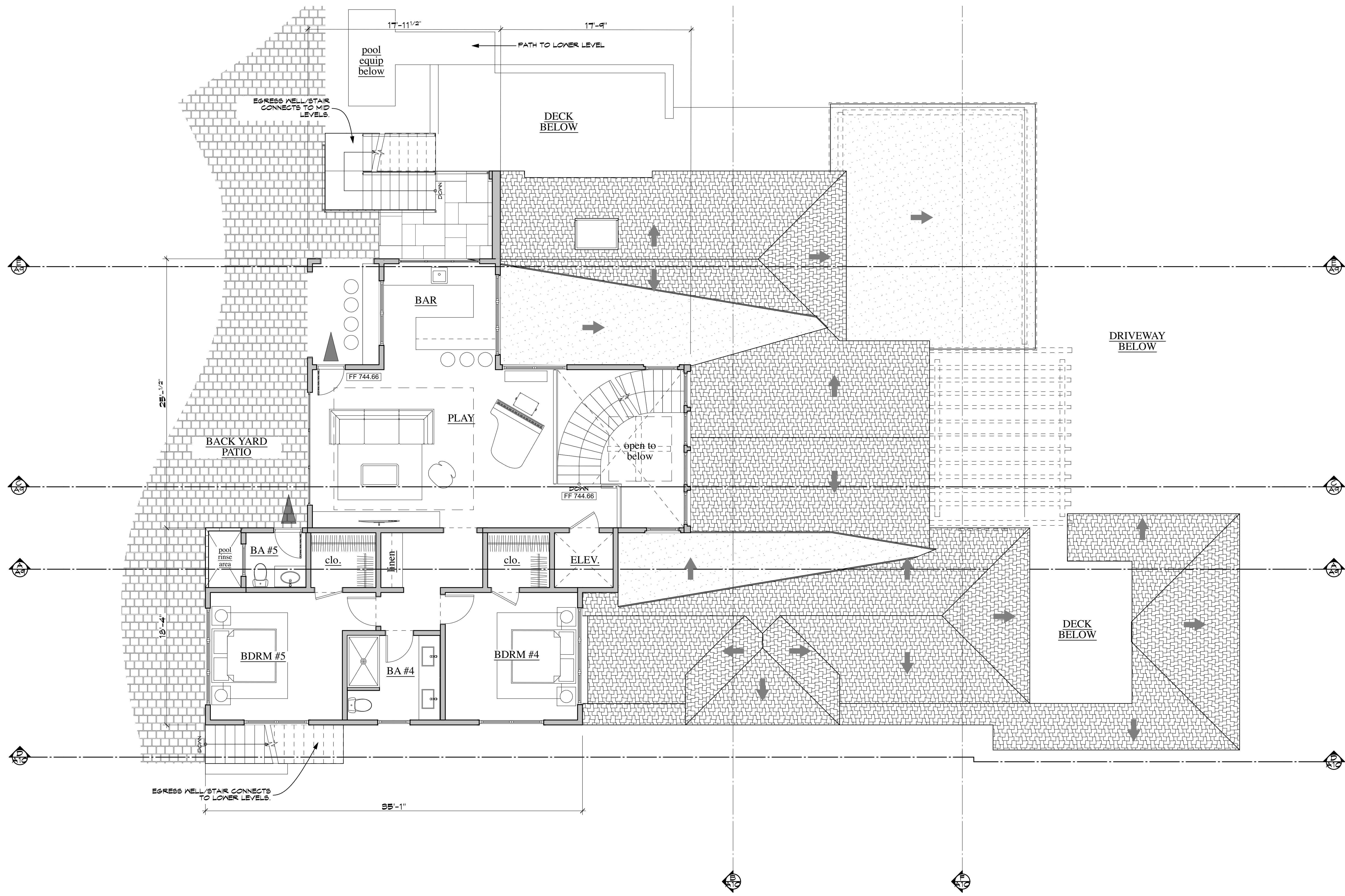
LEGEND	
	WOOD STUD WALL
	CONCRETE REG. WALL
	PAVED OUTDOOR DECK / PATIO
	PAVED YARD AREAS
	ROOF COVERING

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Review shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations shall be noted in any conditions different from those shown on the drawings shall be brought to the Architect's attention prior to installation.

UPPER FLOOR PLAN

DATE: 1/25/21
 SCALE: AS SHOWN
 SHEET
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 OF -



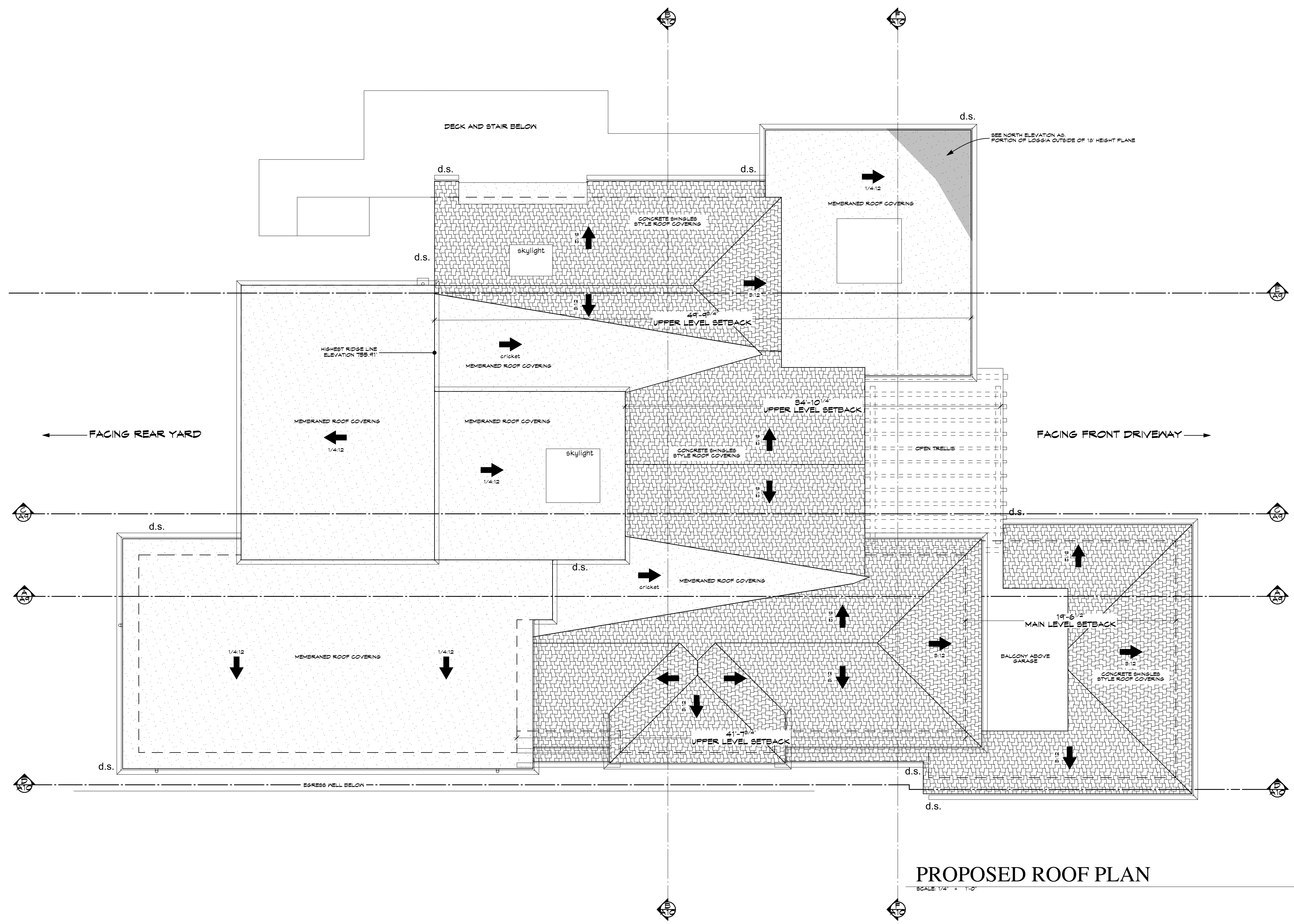
UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

△	Resubmit
△	4.17.21
△	Resubmit
△	5.26.21
△	Resubmit
△	8.13.21

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 51 UNIVERSITY AVE., TULINGA, LOS GATOS, CA • 95028 • (408) 396-2555

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE: Reader shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviation shall be noted in writing to any conditions different from those shown on this drawing. The Architect's attention shall be to the Architect's attention prior to installation.

ROOF PLAN

DATE: 1/25/21

SCALE: AS SHOWN

SHEET

A6

OF -

REVISIONS	
Resubmit	4.17.21
Resubmit	5.26.21
Resubmit	8.13.21

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ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

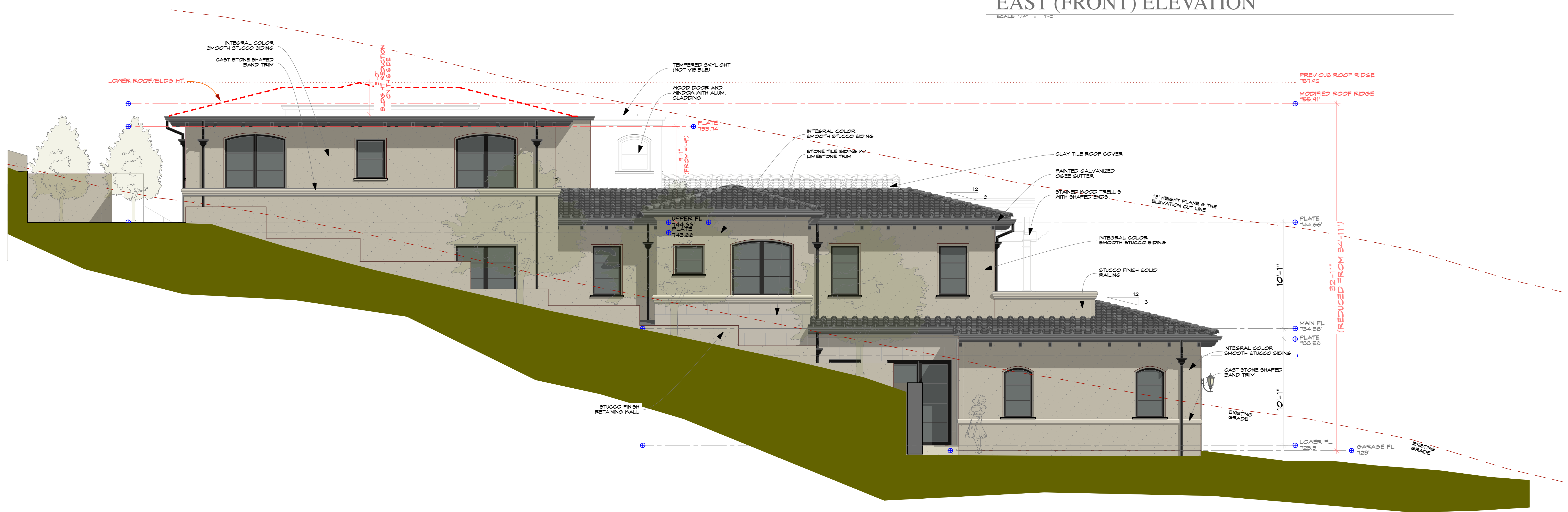
NOTE: Review shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations called by field conditions, or any conditions different from those shown on the drawings, shall be brought to the Architect's attention prior to installation.

ELEVATIONS

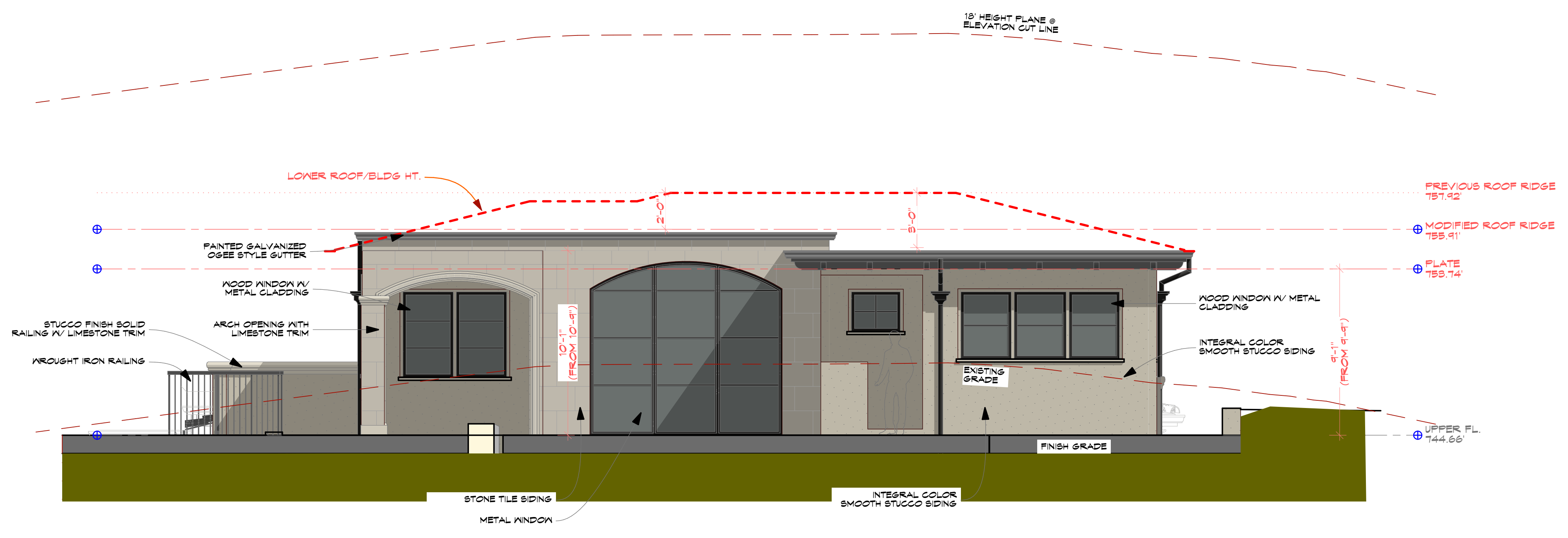
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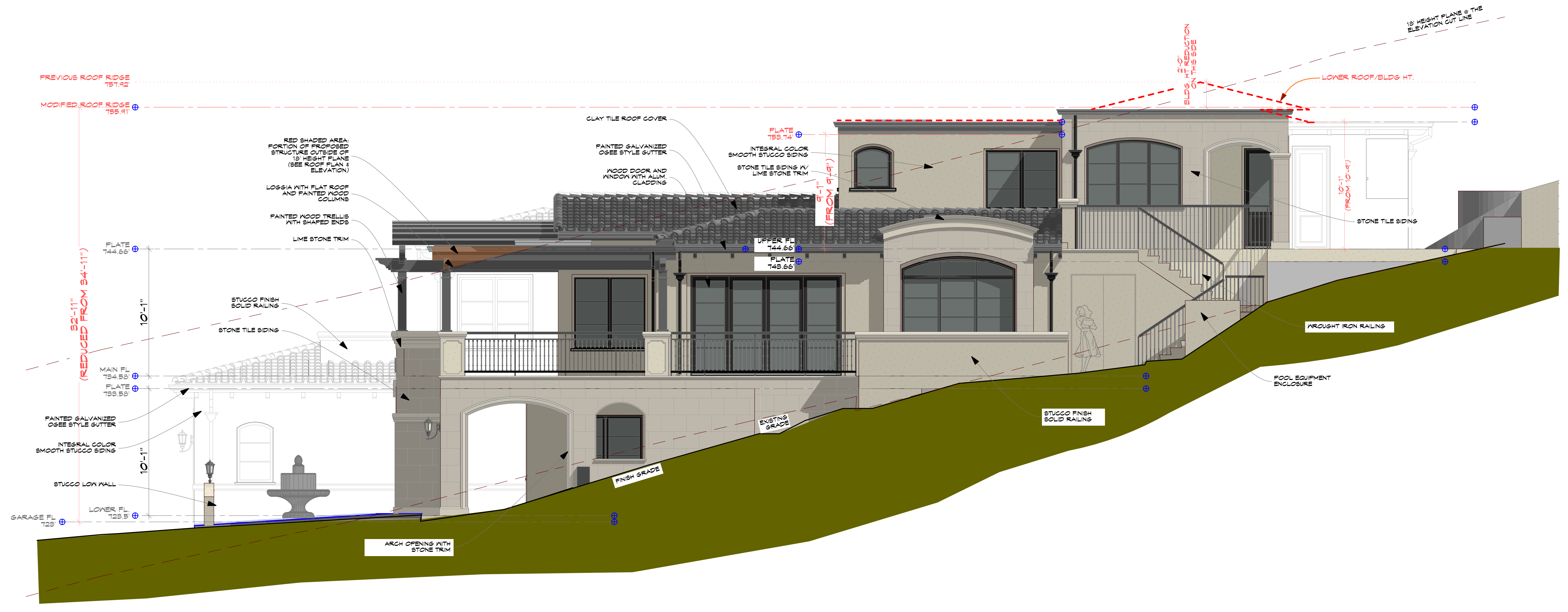
EAST (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH (STREET SIDE) ELEVATION
 SCALE: 1/4" = 1'-0"



WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



NORTH (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Designer shall verify all dimensions, elevations and conditions, prior to starting any construction called by field conditions. No any conditions different from those shown on drawings shall be held against the Architect's attention prior to installation.

REVISIONS	
△	Resubmit 4.17.21
△	Resubmit 5.26.21
△	Resubmit 8.13.21

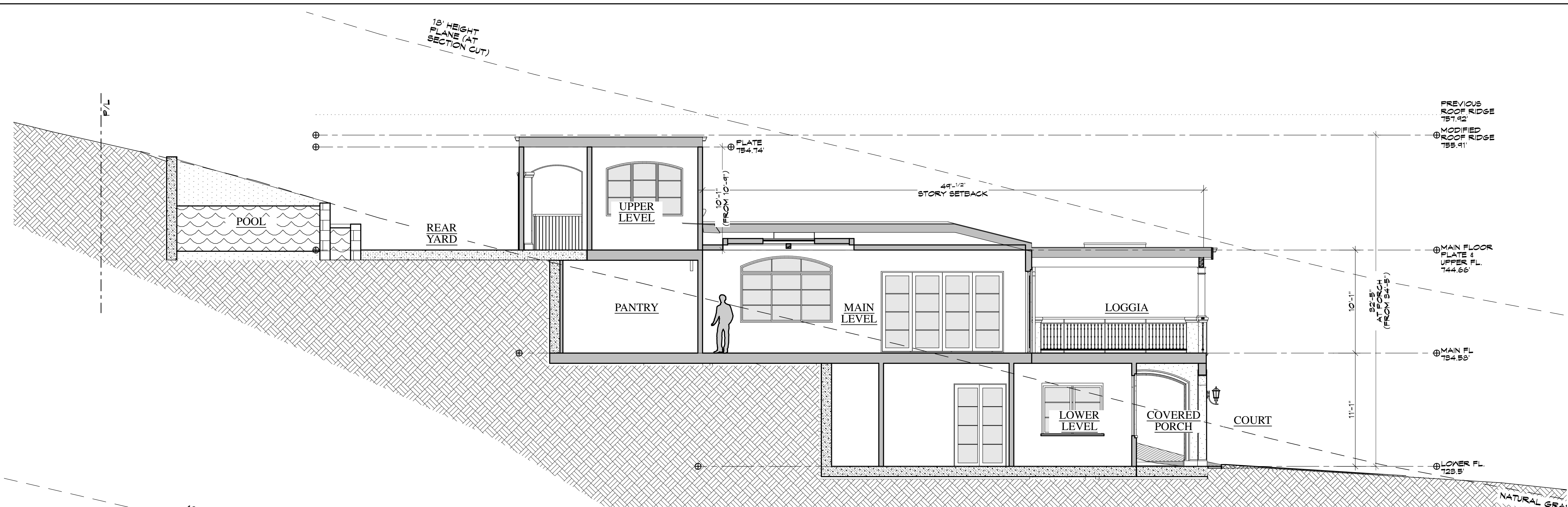
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ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

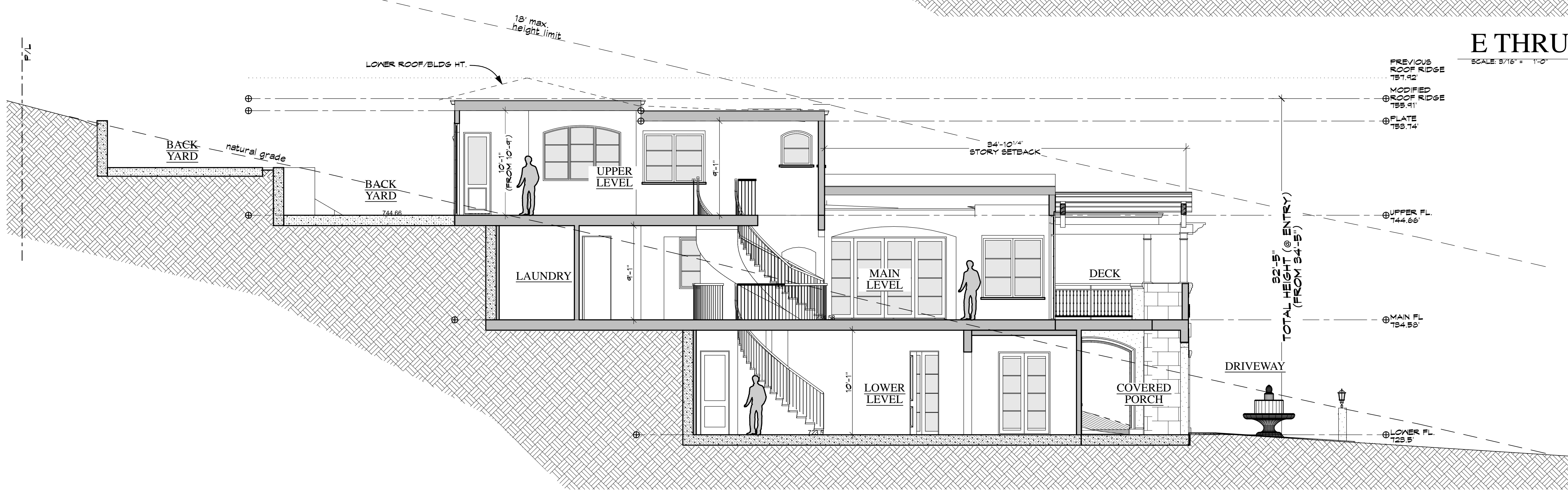
NOTE: Designer shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations shall be noted in writing to the Architect's attention prior to installation.

SECTIONS

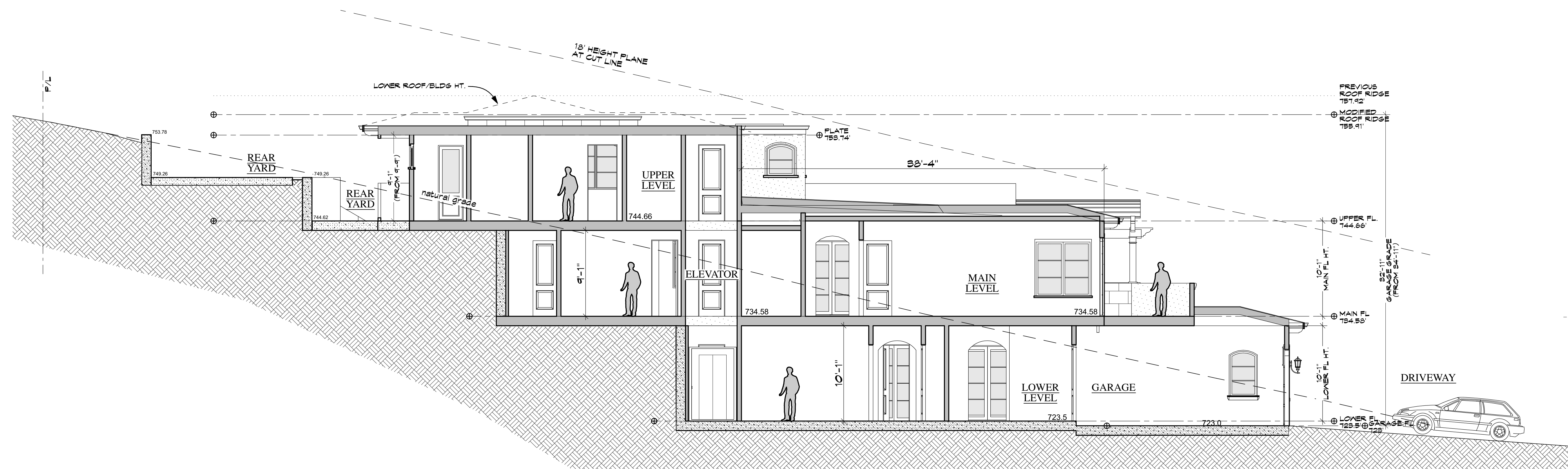
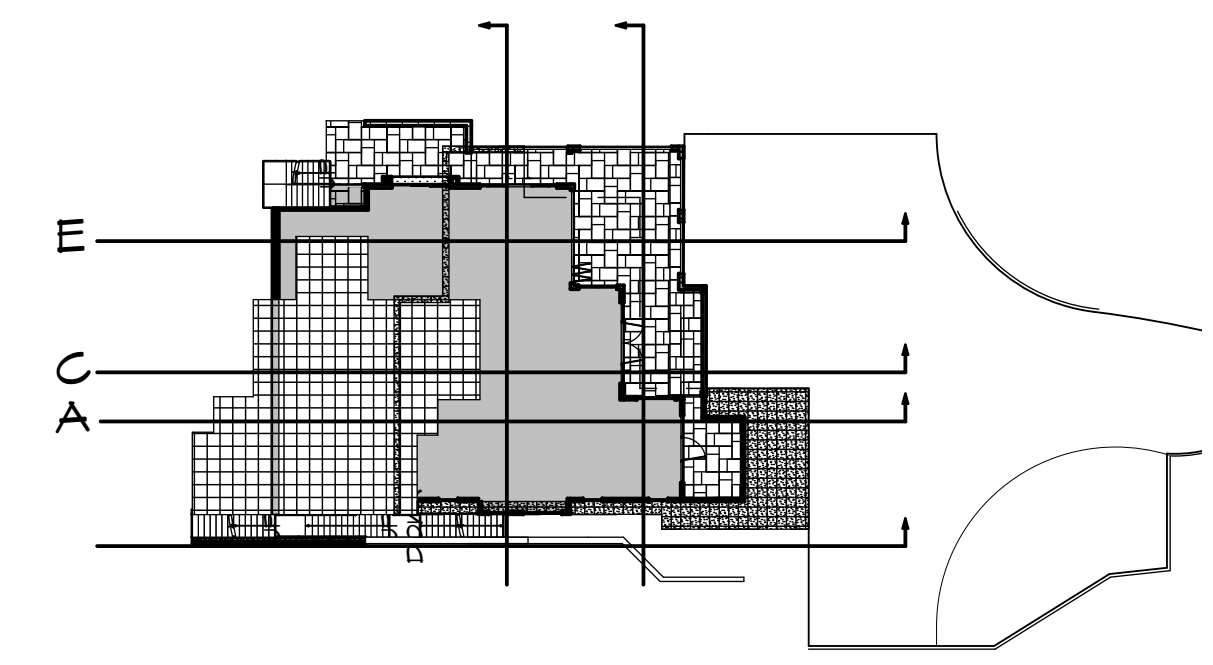
DATE: 1/25/21
 SCALE: AS SHOWN
 SHEET
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 OF -



E THRU LOGGIA & KITCHEN
 SCALE: 3/16" = 1'-0"



C THRU ENTRY AND UPPER PLAY ROOM
 SCALE: 3/16" = 1'-0"



A THRU GARAGE AND UPPER BEDROOMS
 SCALE: 3/16" = 1'-0"

REVISIONS	
△	Resubmit 4.17.21
△	Resubmit 5.26.21
△	Resubmit 8.13.21

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ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: Reviewer shall verify all dimensions, elevations and conditions, prior to starting any construction. Any deviations shall be noted in writing to the Architect's attention prior to installation.

SECTIONS

DATE: 1/25/21

SCALE: AS SHOWN

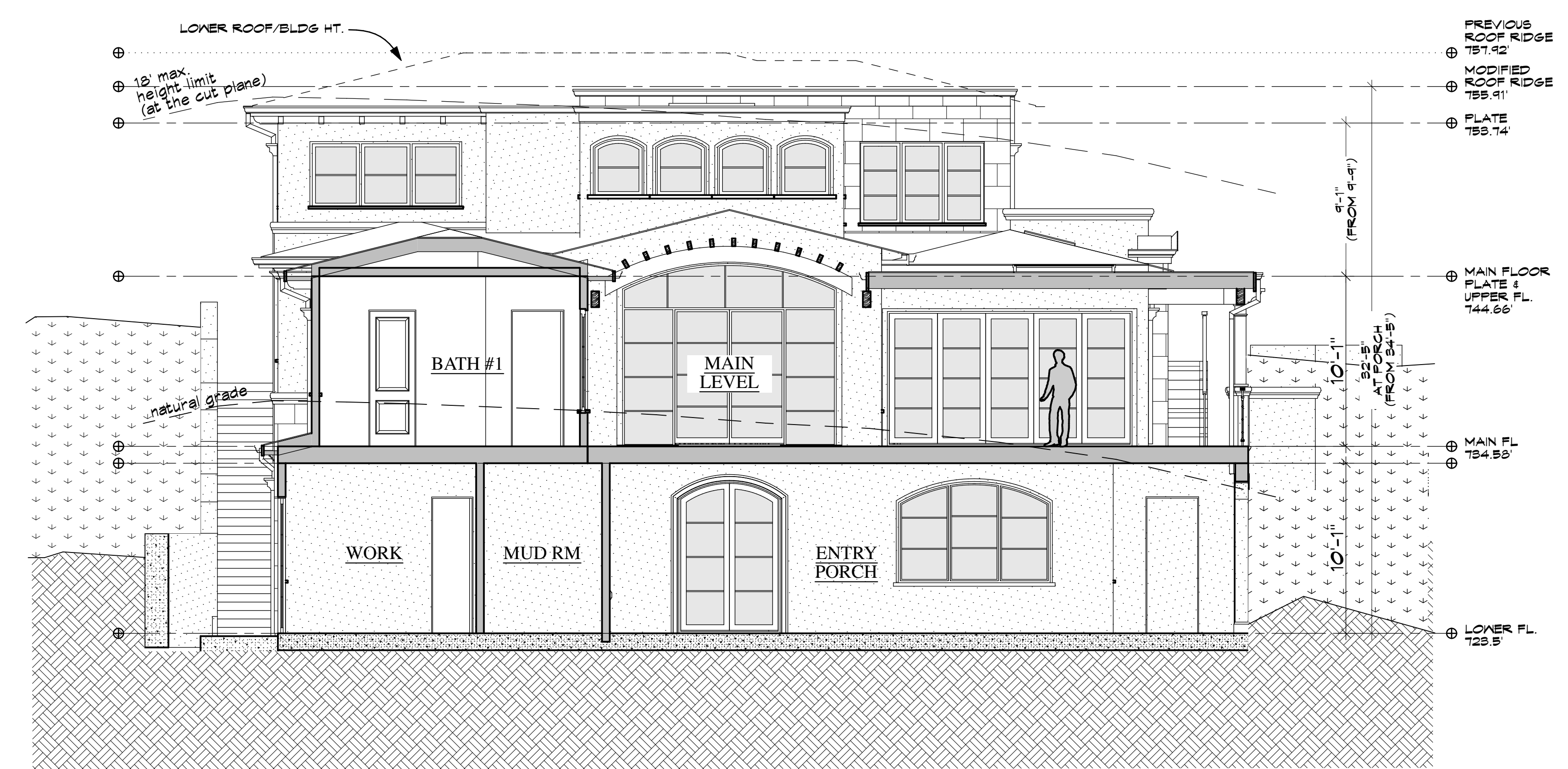
SHEET

A10

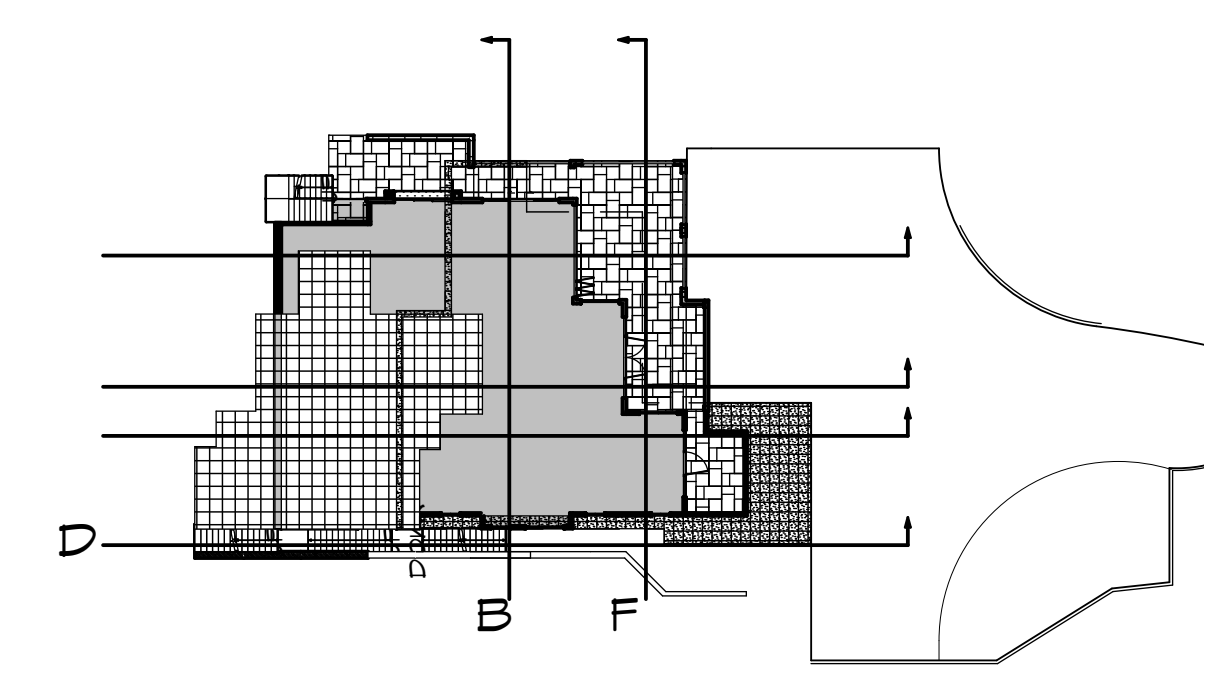
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B THRU KITCHEN AND MASTER BEDROOM
 SCALE: 3/16" = 1'-0"



F THRU LOGGIA
 SCALE: 3/16" = 1'-0"



D THRU EGRESS WELL/STAIR
 SCALE: 3/16" = 1'-0"

REVISIONS	
3	Resubmit 8.13.21

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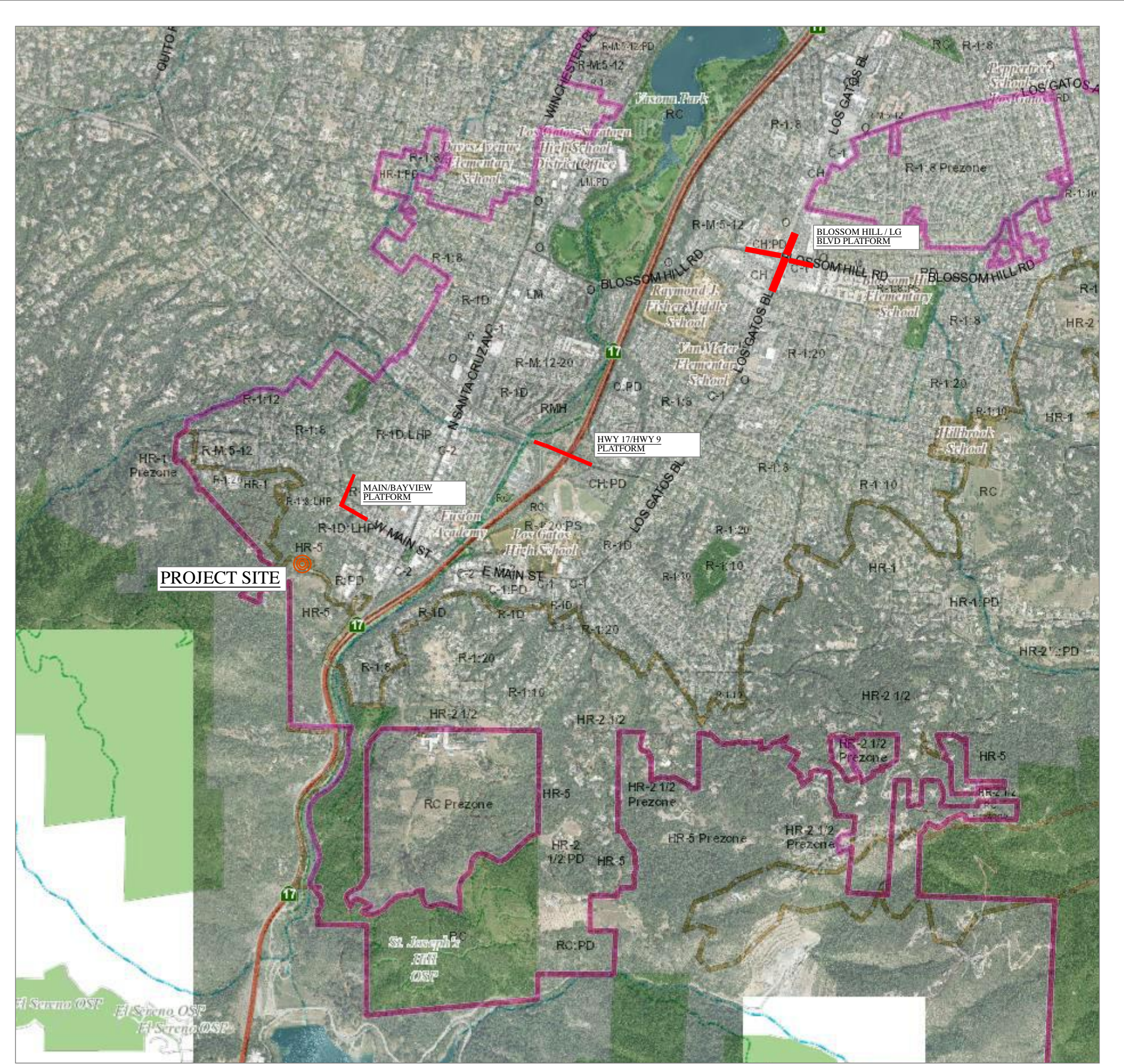
ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
 145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: This project shall not be installed, relocated, or modified without the approval of the architect. Any field work shall be done under the supervision of the architect. Any deviation from the plans shall be brought to the architect's attention prior to installation.

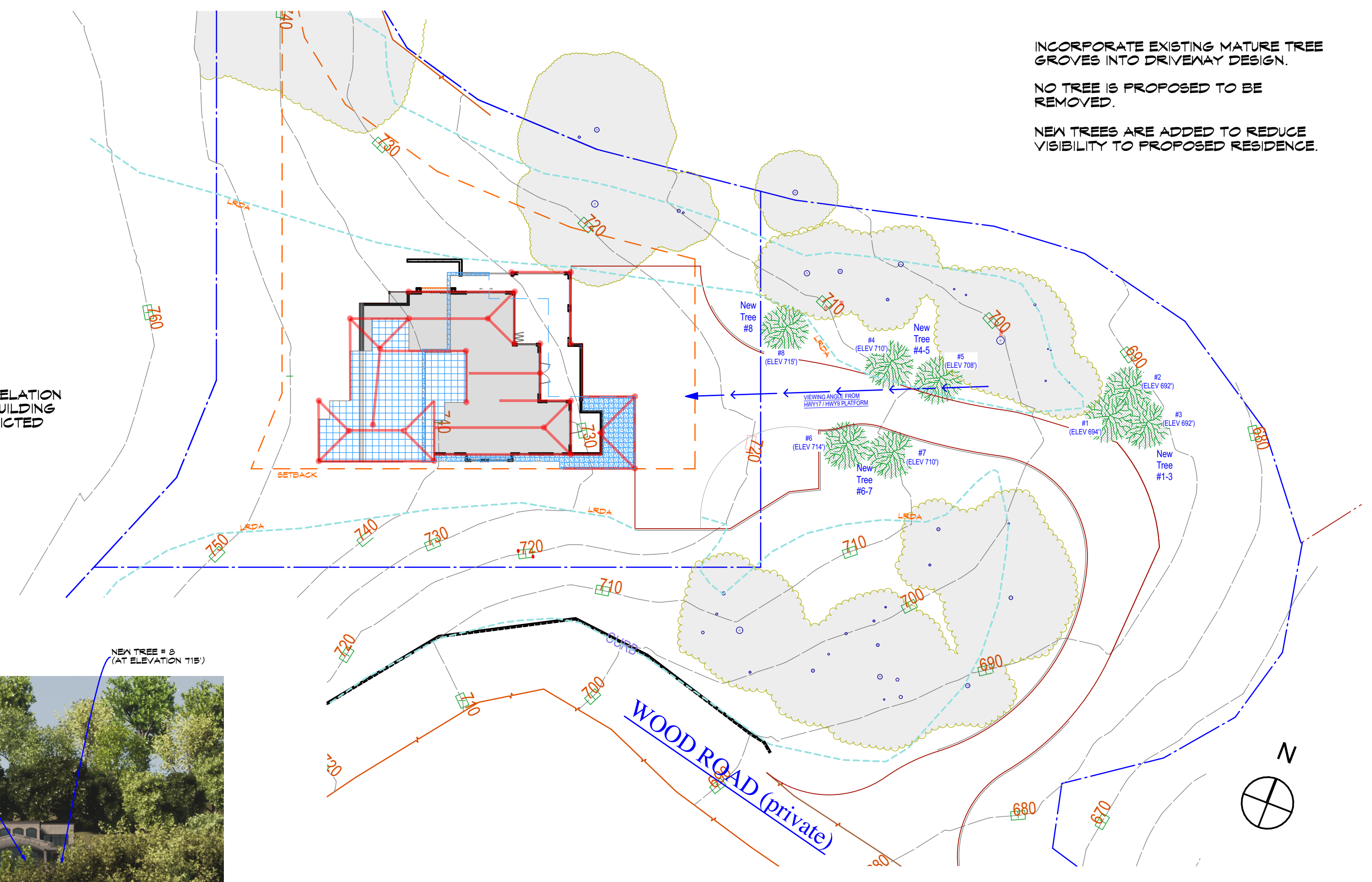
VISIBILITY STUDY

DATE: 4/20/21
 SCALE: AS SHOWN

SHEET
VS 1
 26 OF -



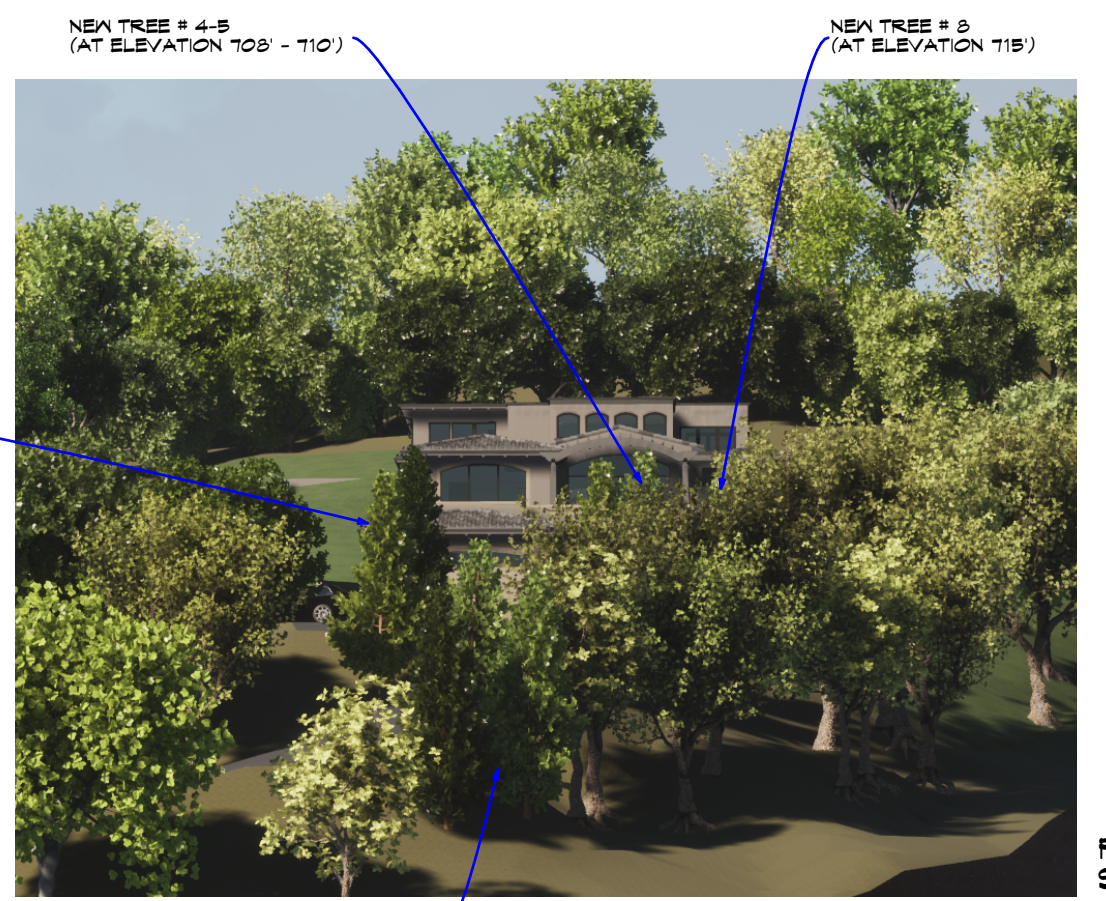
MAP SHOWING PROJECT SITE IN RELATION TO VIEWING PLATFORMS



INCORPORATE EXISTING MATURE TREE GROVES INTO DRIVEWAY DESIGN.
 NO TREE IS PROPOSED TO BE REMOVED.
 NEW TREES ARE ADDED TO REDUCE VISIBILITY TO PROPOSED RESIDENCE.

SITE PLAN SHOWING BUILDING PLACEMENT ON SITE AND IN RELATION TO EXISTING TREES. NOTICE BUILDING ENVELOPE IS FURTHER RESTRICTED BY LRDA.

SITE PLAN



PROPOSE NEW SCREENING TREES. SEE VS 2 FOR IMPACT ON VISIBILITY.



PHOTO TAKEN WITH 300MM LENS
 REPRESENT AN UP-CLOSE PERSPECTIVE TO IDENTIFY VISIBLE STORY POLES, NETTING, TREES AND/OR SHRUBBERY

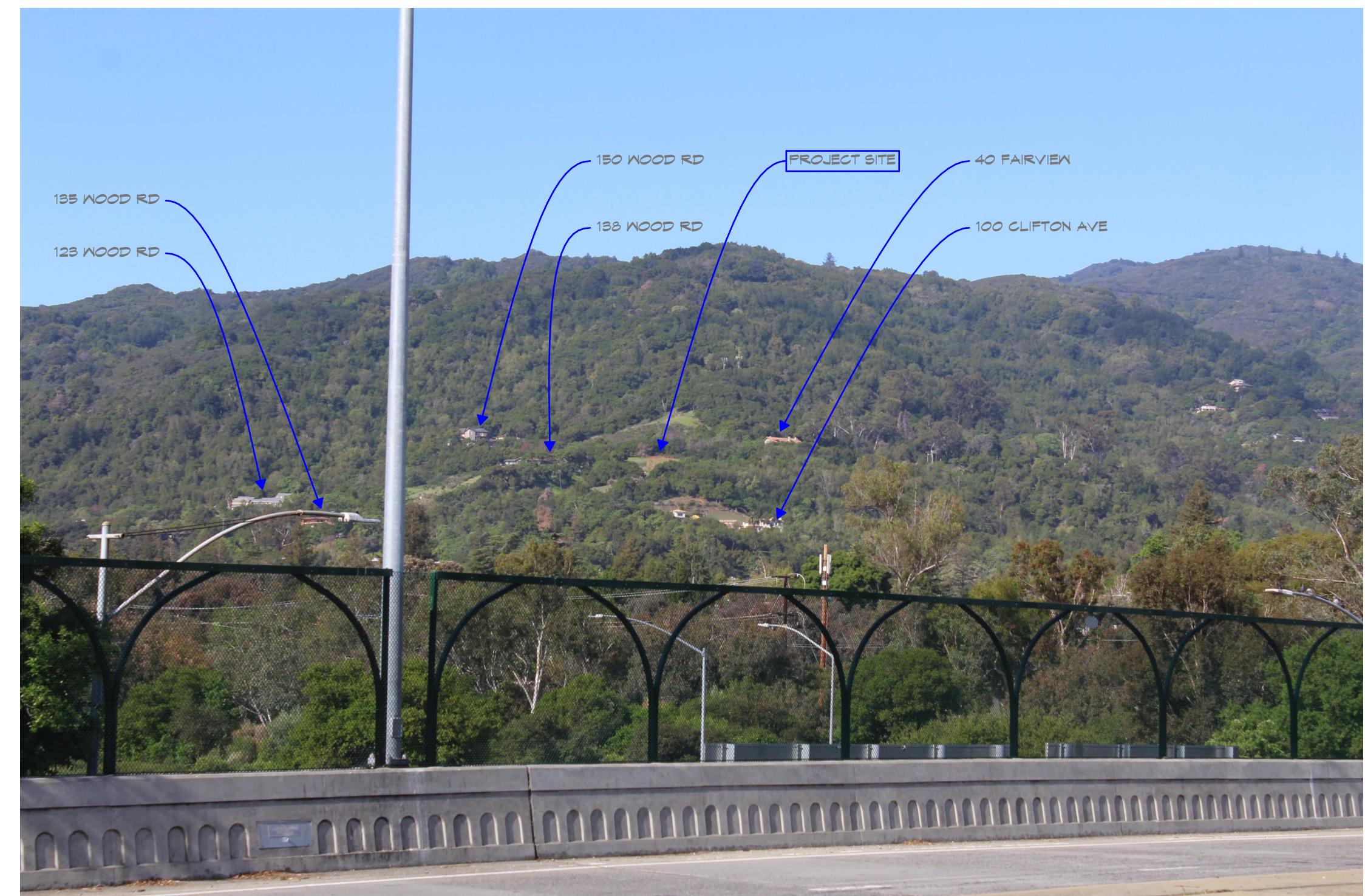


PHOTO TAKEN WITH 50MM LENS AT HWY 17/HWY 9 PLATFORM
 REPRESENT THE VISIBILITY OF THE PROPOSED RESIDENCE FROM THE NAKED EYE

REQUIREMENT
 CONDUCT A VISIBILITY ANALYSIS AS REQUIRED BY THE HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES FOR PROJECTS WITH THE POTENTIAL FOR BEING VISIBLE FROM ANY ESTABLISHED VIEWING AREA.

OBSERVATION LOCATIONS

BLOSSOM HILL/LG BLVD	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
MAIN & BAYVIEW	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
SELINDA MAY & LG ALMADEN ROAD	TOO FAR, NO VIEW TO PROJECT SITE
HWY 17 & HWY 9	VIEW TO PROJECT SITE, SEE ANALYSIS BELOW

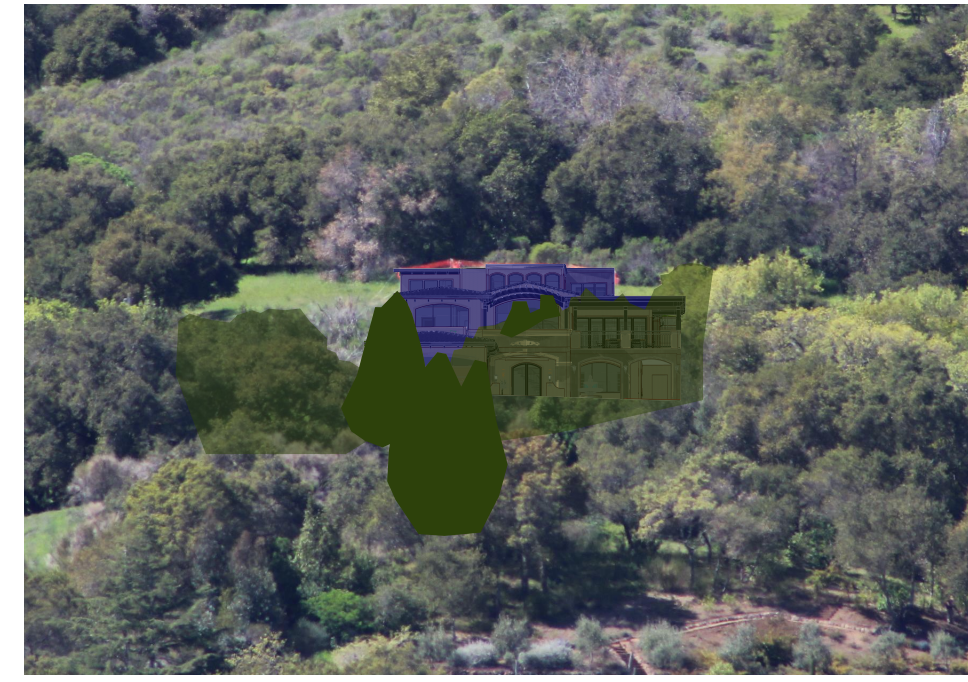
METHOD

1. STORY POLES WERE INSTALLED PER TOWN'S POLICY, WITH METAL POLES AND ORANGE NETTING AND HEIGHTS WERE CERTIFIED.
2. PHOTOGRAPHS OF THE STORY POLES WERE TAKEN USING 50MM AND 300MM LENSES.
3. SEE PHOTOS FOR RESULTS AND ANALYSIS.

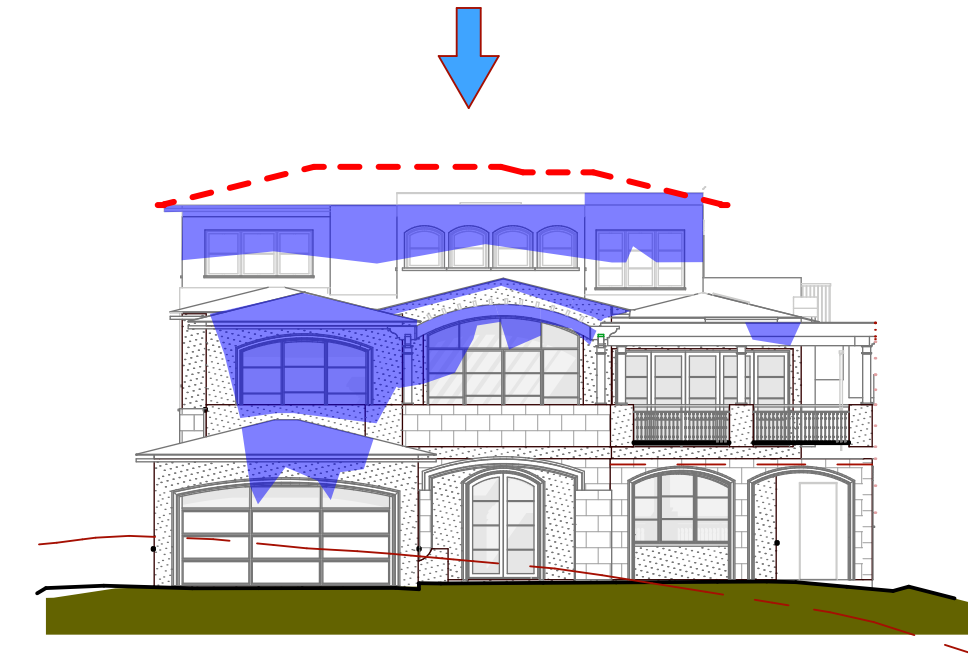
ANALYSIS RESULTS
 3 OUT OF 4 ELEVATIONS OF THE PROPOSED HOME ARE NOT VISIBLE TO THE VIEWING PLATFORM. THE RATIO BETWEEN VISIBLE PART VS. NON-VISIBLE PART IS 42 : 58.

- PLANNING CONSIDERATIONS TO MINIMIZE VISIBILITY OF PROPOSED HOME**
1. MINIMIZE BUILDING WIDTH ON VISIBLE SIDE OF THE LOT.
 2. KEEP BUILDING NO MORE THAN 18 FEET ABOVE NATURAL GRADE.
 3. EMPLOY TIER BUILDING CONFIGURATION, FOLLOWING THE HILLSIDE NATURAL CONTOUR.
 4. USE OF BELOW LRV LIMIT EXTERIOR FINISHES INCLUDING: ROOF COVERING, WALL SIDING AND EXTERIOR TRIM.
 5. SITE PLANNING TO PRESERVE EXISTING MATURE TREES, WHICH PROVIDE SUBSTANTIAL SCREENING OF HOME.

VISIBILITY ANALYSIS



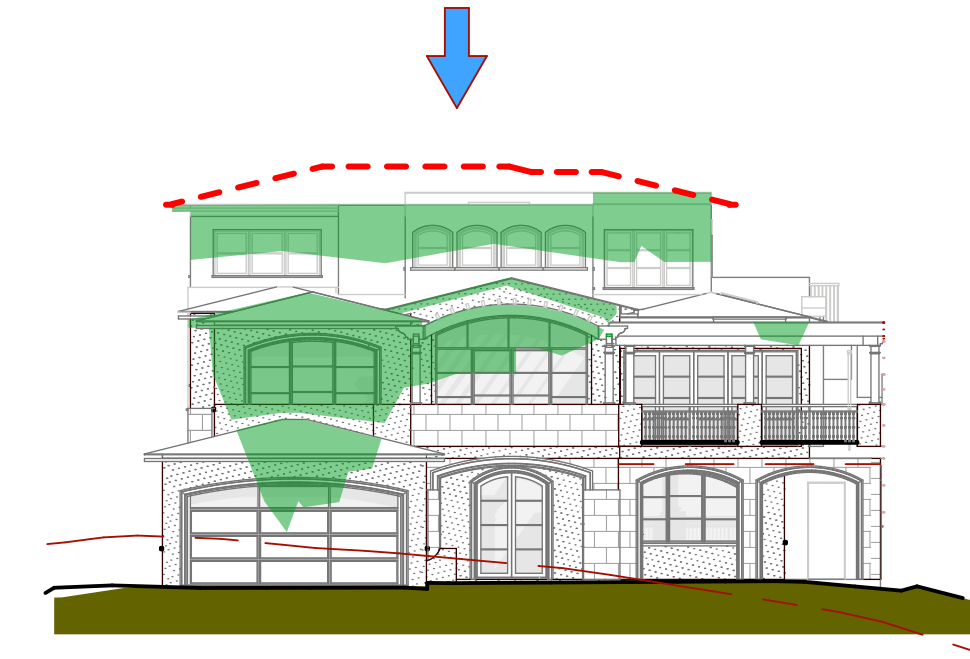
- MODIFIED BUILDING DESIGN +
- NEW SCREENING TREES, GROW TO BE 24.5 FT HIGH.



% OF VISIBLE EAST ELEVATION 24.2%



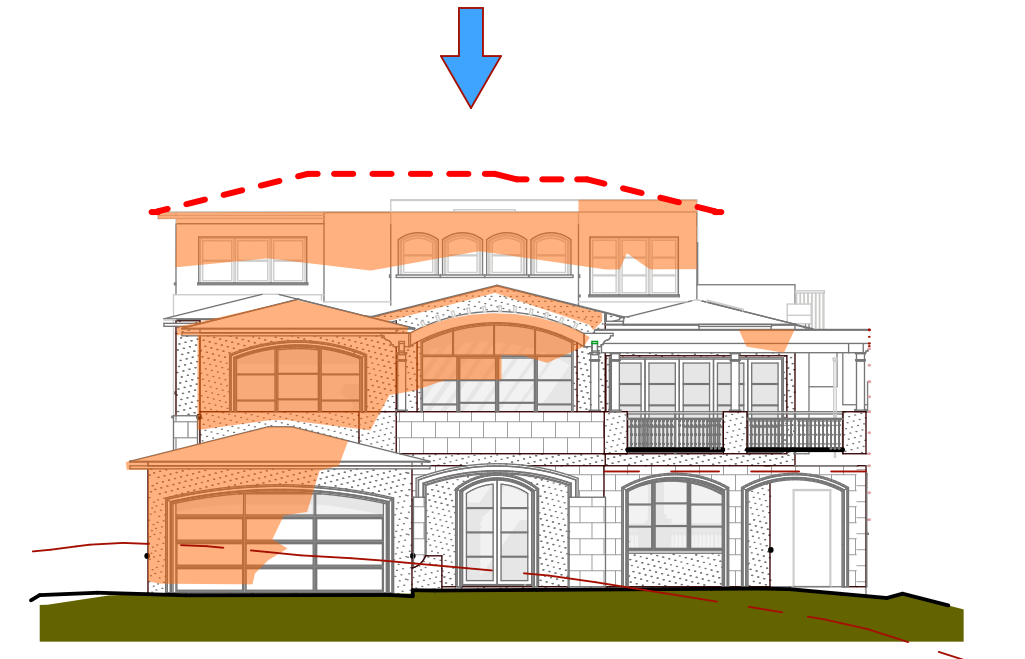
- MODIFIED BUILDING DESIGN +
- INSTALLATION OF (2) NEW SCREENING TREES, EACH PLANTED AT APPROX. 20.5 FT HIGH.



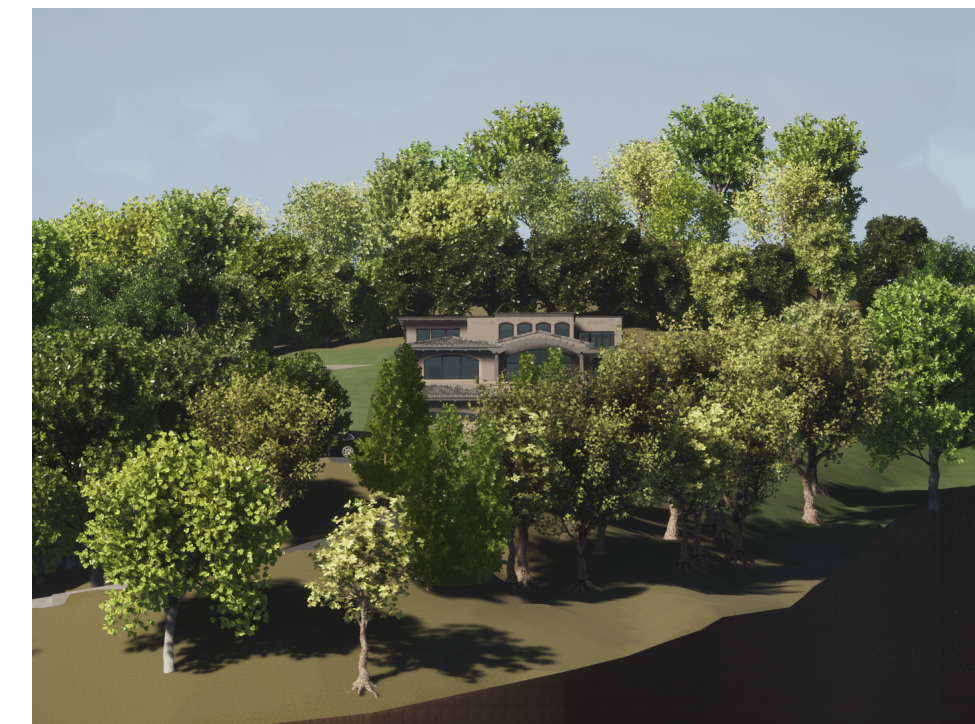
% OF VISIBLE EAST ELEVATION 27.0%



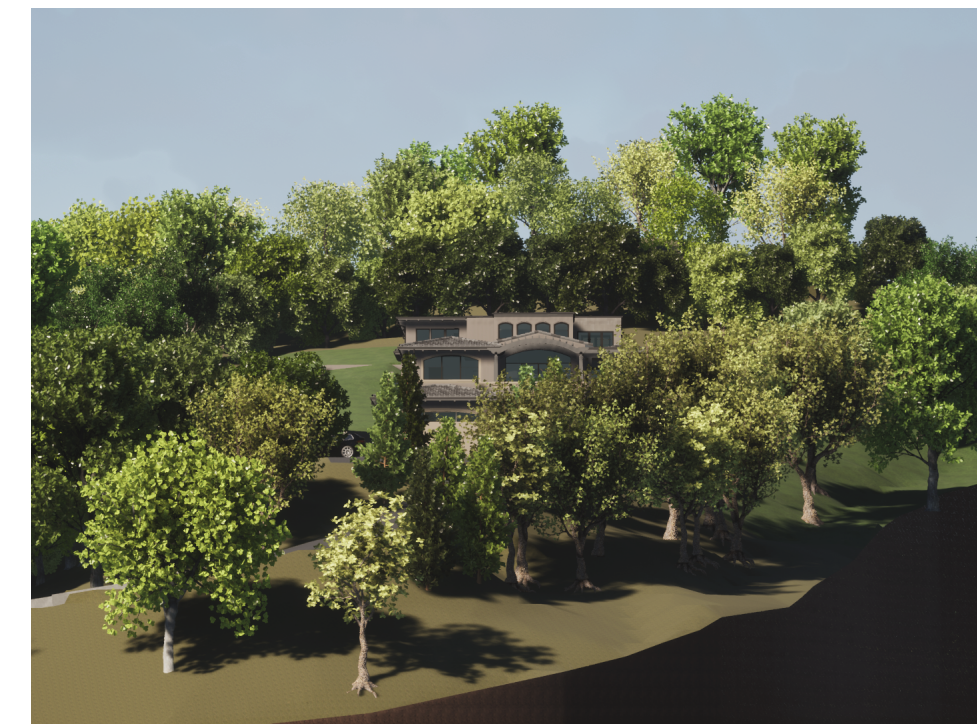
- MODIFIED BUILDING DESIGN: LOWER OVERALL BLDG HT BY 2'
- BEFORE NEW TREE SCREENING



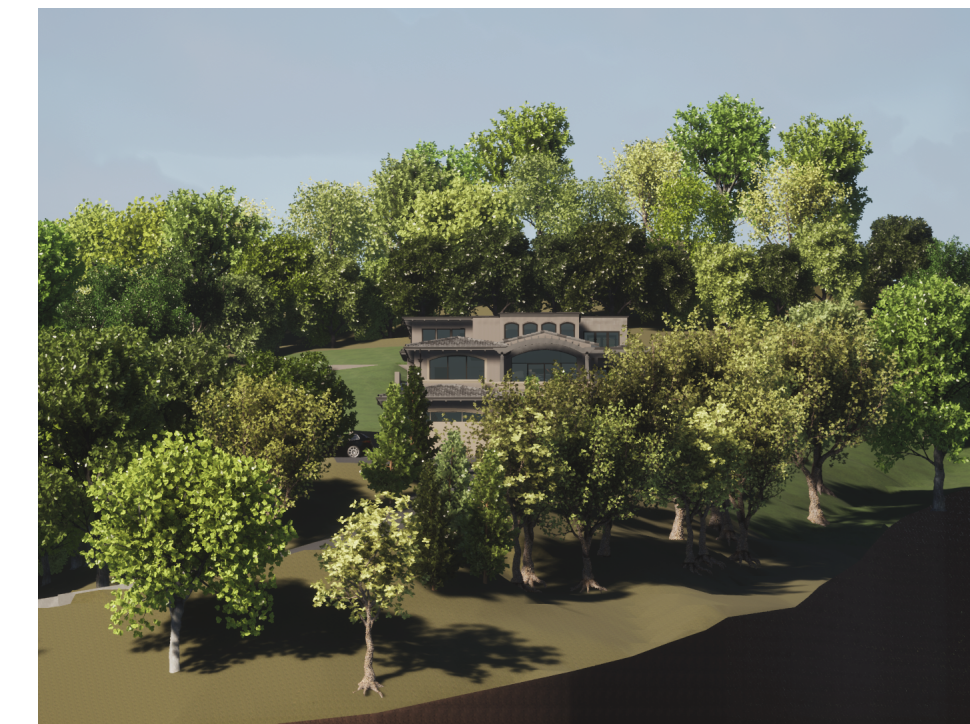
% OF VISIBLE EAST ELEVATION 32%



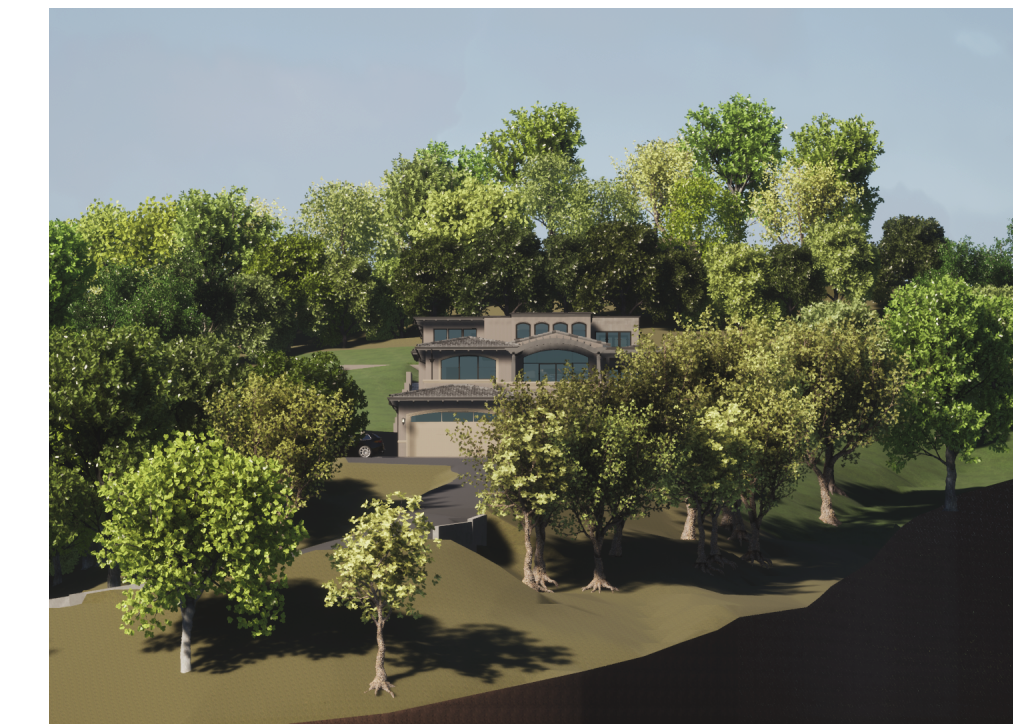
24.5 FT TREES - 2 YEAR GROWTH



22.5 FT TREES - 1 YEAR GROWTH



20.5 FT TREES - NEWLY PLANTED



BEFORE NEW SCREENING TREES

REDUCED VISIBILITY WITH ADDITIONAL TREE SCREENING

VISIBLE PORTION AFTER HEIGHT REDUCTION

REVISIONS

3 Resubmit 8.13.21

KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

ARCHITECTURAL AND SITE DEVELOPMENT FOR:
THE BOUKNIGHT FAMILY
145 (PENDING) WOOD ROAD • LOS GATOS, CA 95030

NOTE: The contractor shall verify all dimensions, elevations and conditions prior to starting any field work. Any deviation called by field conditions, indicated on the plans shall be brought to the Architect's attention prior to installation.

VISIBILITY STUDY

DATE: 4/20/21

SCALE: AS SHOWN

SHEET

VS 2

27 OF -

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/25/2021

ITEM NO: 3

ADDENDUM

DATE: August 24, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider Approval for Construction of a New Single-family Residence and Site Improvements Requiring a Grading Permit on Vacant Property Zoned HR-5 Located on Wood Road. APN 510-47-045. Architecture and Site Application S-21-003. Property Owners: Omari and Kavita Bouknight. Applicant: Gary Kohlsaas, Architect. Project Planner: Sean Mullin.

REMARKS:

Exhibit 16 includes a letter from the applicant's civil engineer summarizing their research and conclusion regarding the neighbor's claim of easement on the subject property.

EXHIBITS:

Previously received with the July 28, 2021 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Visibility Analysis
5. Color and materials board
6. Project Description and Letter of Justification, dated July 21, 2021
7. Consulting Architect's Report, dated February 5, 2021
8. Consulting Arborist's Report, dated March 22, 2021
9. Applicant's neighbor outreach efforts
10. Public comments received by 11:00 a.m., Friday, July 23, 2021
11. Development Plans

Previously received with the July 28, 2021 Addendum Report:

12. Public comments received between 11:01 a.m., Friday, July 23, 2021 and 11:00 a.m., Tuesday, July 27, 2021

PREPARED BY: SEAN MULLIN, AICP
Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: Wood Road (510-47-045)/S-21-003

DATE: August 24, 2021

Previously received with the August 25, 2021 Staff Report:

13. Applicant Response Letter, dated August 19, 2021

14. Public comments received between 11:01 a.m., Wednesday, July 28, 2021 and 11:00 a.m., Friday, August 20, 2021

15. Revised Development Plans, received August 19, 2021

Received with this Addendum Report:

16. Civil Engineer's letter, dated August 23, 2021



August 23, 2021

Members of the Planning Commission
Town of Los Gatos
110 East Main St
Los Gatos, CA 95030

RE: ASA No. S-21-003, August 28, 2021 Agenda Item No. 2
Wood Road Easement

Dear Chair and Members of the Planning Commission,

The letter submitted by Matteoni, O’Laughlin, & Hechtman, dated July 23, 2021 refers to the Wood Road right of way across the property under application (APN 510-47-045) (the “Property”) and benefitting the adjacent owner, David Ebrahimi (APNs 510-46-006 and 510-46-007). Their letter includes an Exhibit 2 and claims the right of way is shown in blue.

Prior to 1965, the exact location of the easement for the right of way across the Property was not defined. The Record of Survey map filed on February 10, 1965 in Book 190 of Maps, page 52 shows a parcel labeled as “WOOD ROAD (30’ WIDE)” (see attached). However, a Record of Survey doesn’t establish easement rights. Title to this property was granted to the owner of Parcel 2 as shown on said Record of Survey via a Quitclaim Deed recorded March 6, 1972 in Volume 9731, pages 555-556, Official Records. The parcel labeled as “WOOD ROAD (30’ WIDE)” was APN 510-47-043 and Parcel 2 was APN 510-47-027.

In 1974 an easement for Wood Road was granted to the then owner of the Ebrahimi property with an Easement Deed recorded on July 31, 1974 in Volume B018, pages 553-554, Official Records. This Easement Deed describes a 36’ wide easement with complete bearings and distances traversing APNs 510-47-043 and 510-47-027 to the properties owned by Ebrahimi.

On October 26, 2016, a Certificate of Lot Line Adjustment was recorded, changing the boundary between the parcels described as APN 510-47-043 and APN 510-47-027 to Parcel A and Parcel B as shown on Exhibit “E” (see attached). Exhibit “E” shows the 36’ wide right of way.

I have found no evidence that the Record of Survey with the parcel labeled as “WOOD ROAD (30’ WIDE)” established easement rights to the portion of the parcel not used as Wood Road and the easement deed in 1974 formalized the exact location of the Wood Road right of way.

Regards,


Teresa Price, P.E.



SURVEYORS' CERTIFICATE

This map correctly represents a survey made by me, or under my direction in conformance with the requirements of the Land Surveyors' Act of the request of Charles B. Leibin January, 1965.

Henry D. Elliott
 Licensed Land Surveyor N72655

COUNTY SURVEYORS' CERTIFICATE

This map has been examined for conformance with the requirements of the Land Surveyors' Act this 10th day of February 1965.

James T. Pelt, County Surveyor
 By *Alan Cloninger* Deputy

RECORDERS CERTIFICATE

File No. 2773463 Fee 17.00 Paid
 Filed for record this 16th day of February 1965 at 5:51 A.M.
 in Book 170 of Maps, of pages 52152, at the request of
 Mark Thomas & Co. Inc.

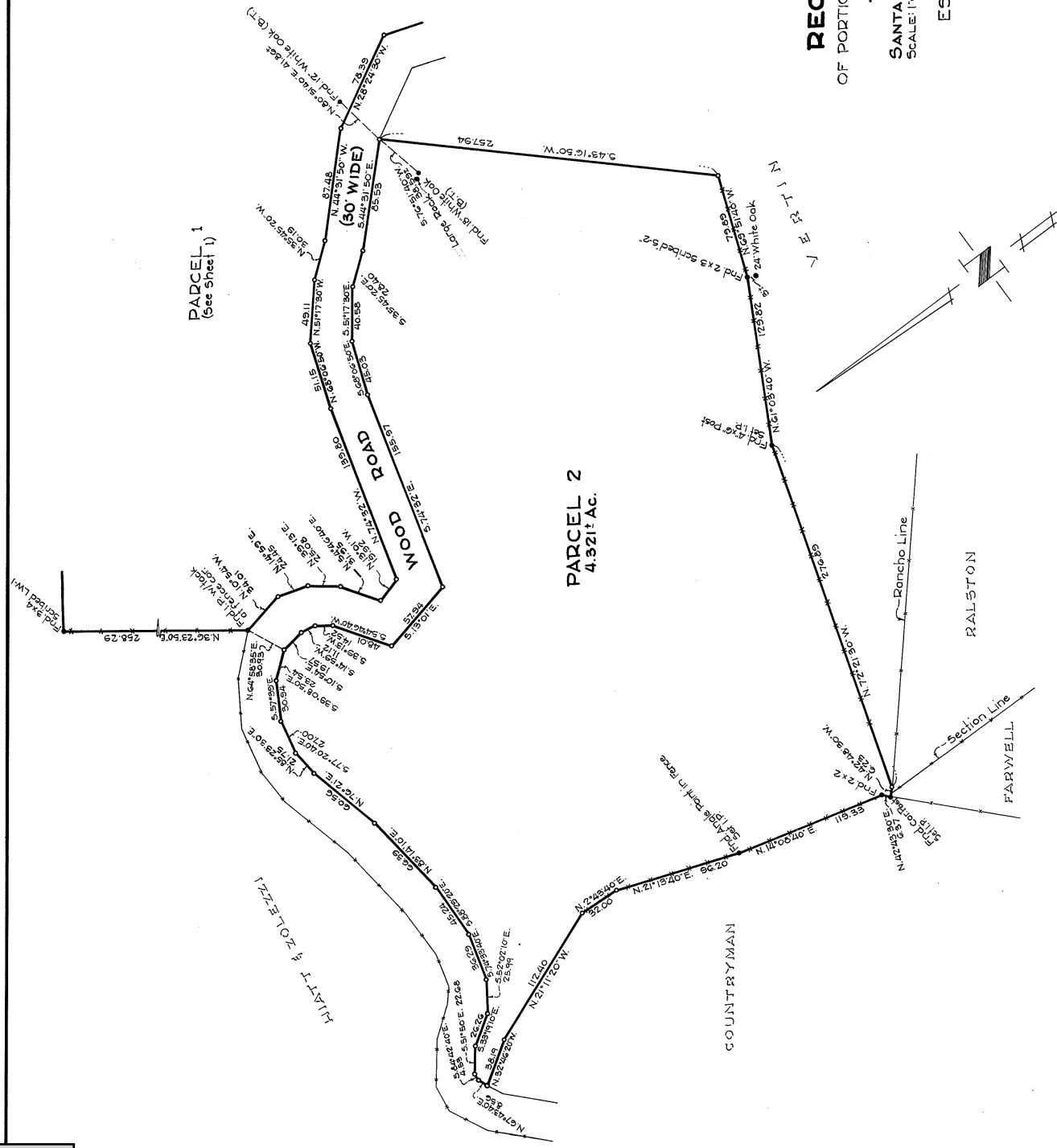
Paul D. Teilih, County Recorder
 By *Donald E. Rubin* Deputy

BASIS OF BEARINGS & NOTES

The bearing (S59°21'20"E on sheet 1) in the southeasterly corner of 4.85± ac. parcel as shown on the Record of Survey recorded in Book 29 of Maps of page 52, was used as the basis of bearings shown upon this map.
 All distances and dimensions are shown in feet and decimals thereof.
 • Indicates iron pipe set
 •• Indicates iron pipe found, unless otherwise noted

RECORD OF SURVEY
 OF PORTIONS OF RANCHO BINCONADA
 DE LOS GATOS
 TOWN OF LOS GATOS
 SANTA CLARA COUNTY - CALIFORNIA
 SCALE: 1"=50'
 FOR
 ESTATE OF IRMA L. FARWELL

MARK THOMAS & CO., INC.
 Civil Engineers & Surveyors
 San Jose, California



82

82

RECORD OF SURVEY
 OF PORTIONS OF RANCHO RINCONADA
 DE LOS GATOS
 TOWN OF LOS GATOS
 SANTA CLARA COUNTY-CALIFORNIA
 SCALE: 1"=50'
 FOR
 ESTATE OF IRMA L. FARWELL

MARK THOMAS & Co, INC.
 Civil Engineers & Surveyors
 San Jose
 California

LOUISE B. FARWELL

PARCEL 1
 G. 494± AC.

PARCEL 2
 (See Sheet 2)

NOTE
 • Indicates iron pipe set
 • Indicates iron pipe found, unless otherwise noted

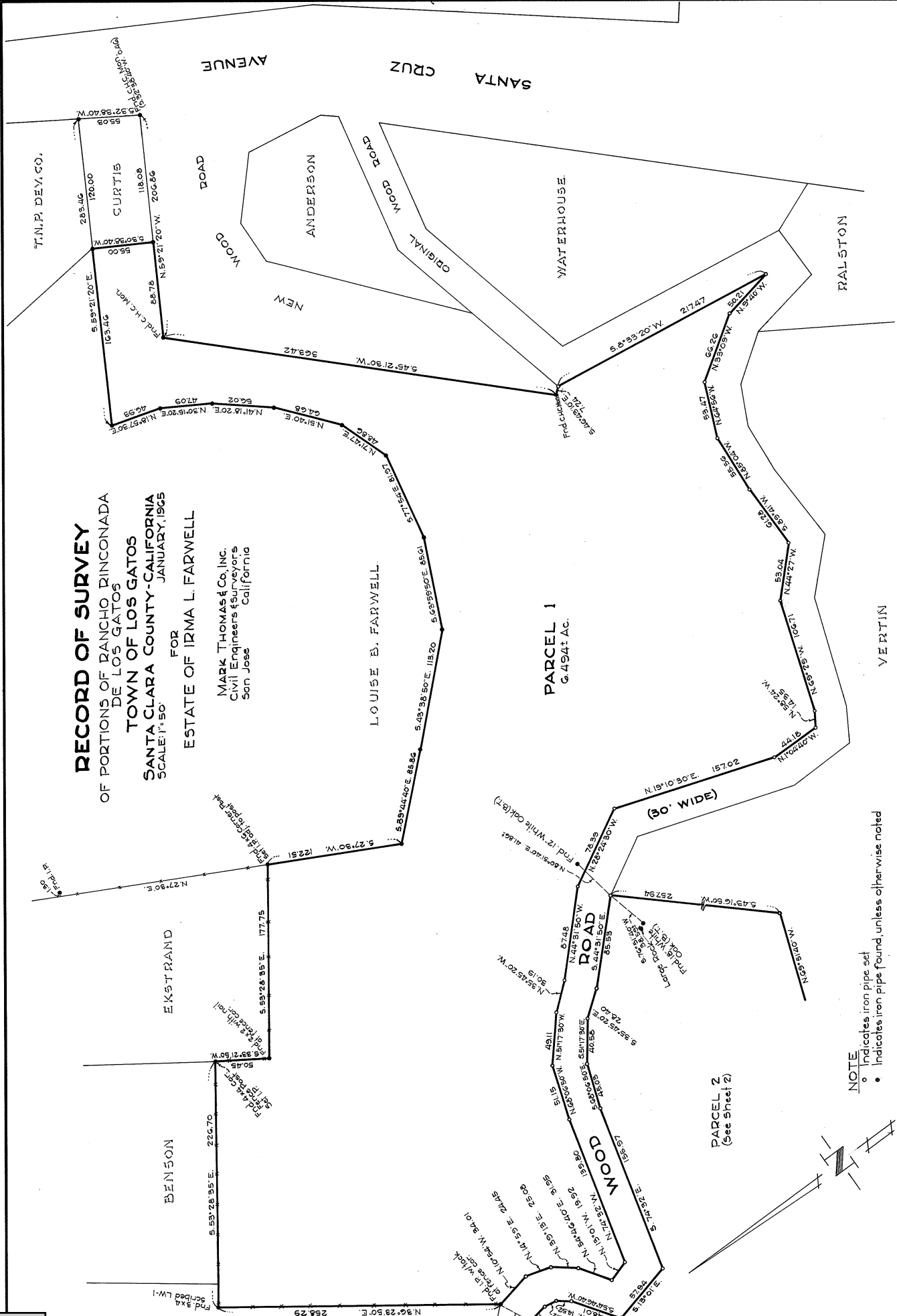


EXHIBIT "E"
 PLAT TO ACCOMPANY LEGAL DESCRIPTION
 FOR EASEMENT

APN 510-47-038

Scale 1" = 100'



846 - M - 38

APN 510-47-038

Parcel 1

190 - M - 52

FOUND
 1/2" OPEN PIPE

PARCEL B

APN 510-47-043

N21°31'04"E
 (N21°13'40"E)
 96.55 (96.20)

N14°11'50"E
 (N14°08'40"E)
 119.30 (119.33)

202.94'
 N68°54'25"E

112.95'
 S75°27'16"E

S13°01'00"E
 19.92

Easement for
 Ingress, Egress & Utilities

S68°06'50"E
 51.15

S51°17'30"E
 49.11

S35°45'20"E
 21.55 +/-

Edge of existing
 36" wide Right of Way
 as per Doc. 4820200,
 B18, Page 553

FOUND 1/2"
 OPEN PIPE

PARCEL A

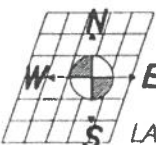
APN 510-47-027

Point of Beginning

FOUND 1" PIPE
 LS 3242

Parcel 2

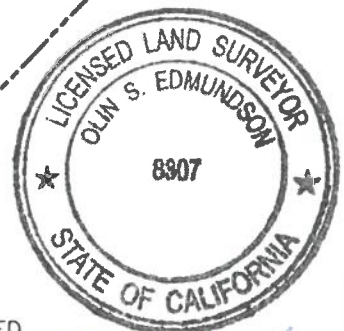
190 - M - 52



EDMUNDSON
 & ASSOCIATES
 LAND SURVEYING

LEGEND

- = SET 1/2" PIPE LS 8307
- ⊗ = FOUND SURVEY MONUMENT AS NOTED



Olin S. Edmundson
 10/12/16

1512 SEABRIGHT AVENUE
 SANTA CRUZ, CA 95062
 PHONE (831) 425-1796
 FAX (831) 425-1795



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/25/2021

ITEM NO: 3

DESK ITEM

DATE: August 25, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider Approval for Construction of a New Single-family Residence and Site Improvements Requiring a Grading Permit on Vacant Property Zoned HR-5 Located on Wood Road. APN 510-47-045. Architecture and Site Application S-21-003. Property Owners: Omari and Kavita Bouknight. Applicant: Gary Kohlsaar, Architect. Project Planner: Sean Mullin.

REMARKS:

Exhibit 17 includes additional public comments received between 11:01 a.m., Friday, August 20, 2021, and 11:00 a.m., Wednesday, August 25, 2021.

EXHIBITS:

Previously received with the July 28, 2021 Staff Report:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Visibility Analysis
5. Color and materials board
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16. Civil Engineer's letter, dated August 23, 2021

Received with this Desk Item Report:

17. Public comments received between 11:01 a.m., Friday, August 20, 2021 and 11:00 a.m., Wednesday, August 25, 2021

From: Jean E
Sent: Wednesday, August 25, 2021 9:23 AM
To: Planning Comment <PlanningComment@losgatosca.gov>
Cc: Joel Paulson <jpaulson@losgatosca.gov>
Subject: Public Comments Item #3, August 25, 2021, Mr. Omari, Parcel #510-47-045

Good Evening Planning Commissioners, we are the property owners, Jean & David Ebrahimoun, adjacent to the Mr. Omari applicant.

First, we would like to welcome Mr. Omari and family to the neighborhood. We are the adjacent property owners (parcel 510-46-006 and 510-46-007) for the past 37 years.

We are not in disagreement with the proposed architecture plan as long as this development does NOT interfere or encroach within our Right of Way easement. The ROW easement is the only access for parcel 510-46-007, which had a home that burned down prior to our purchase and was confirmed by the chain of title report.

Our Engineer, Mr. Frank Lewis, and us are available on zoom this evening, if you have further questions.

Thank you for your time.

Jean/David Ebrahimoun (Ebrahimi)

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